

CITY OF BLUFFDALE, UTAH

ORDINANCE NO. 2018-21

AN ORDINANCE CREATING THE BRINGHURST STATION MIXED USE SPECIAL DISTRICT (SD-X BRINGHURST STATION), WHICH CREATES A NEW ZONING MAP DESIGNATION, A NEW ZONING ORDINANCE TEXT CHAPTER, AND ADOPTS AN ACCOMPANYING PROJECT PLAN FOR A SPECIFIC GEOGRAPHICAL AREA.

WHEREAS the City of Bluffdale Land Use Ordinance has adopted a Special District special purpose and overlay zone chapter which allows property owners to propose specific zoning regulations and plans for their properties;

WHEREAS the special development district (SD) zone designation is provided in order to allow the most efficient and creative development of lands that have unique or unusual characteristics and is intended to be used for development when it can be shown that no other zone classification would be adequate for reasonable development that otherwise conforms to or furthers the goals and objectives of the city's general plan, economic development strategic plan, and/or the city's parks, trails, recreation, and open space plan.

WHEREAS applicants and property owners have made application to create the Bringhurst Station Mixed Use Special District (SD-X Bringhurst Station) which presents specific zoning regulations and plans which will govern the subject property's development; and

WHEREAS the proposed map and text amendments and development project plan set forth herein have been reviewed by the Planning Commission and the City Council, and all appropriate public hearings have been held and public notice given in accordance with Utah law and local ordinance to obtain public comment regarding the proposed amendments to the Land Use Ordinance and Zoning Map.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BLUFFDALE, UTAH:

Section 1. Zoning Map Amendment. The City Council hereby amends the official zoning map from the R-1-43 Residential Zone and A-5 Agriculture Zone designations to a new designation of SD-X Bringhurst Station on the entire property as indicated in Exhibit 'A':

See Exhibit 'A'

Section 2. Text Amendments and Project Plan Approval. The City Council hereby adopts a new chapter in the City's Land Use Ordinance entitled SD-X Bringhurst Project Plan, which includes the development requirements and project plan for the Bringhurst Station project to Title 11 of the Bluffdale City Code, as indicated in Exhibit 'B'

See Exhibit 'B'

Section 3. Severability. If any section, part or provision of this Ordinance is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Ordinance, and all sections, parts and provisions of this Ordinance shall be severable.

Section 3. Effective Date. This Ordinance shall take effect upon recording in the office of the City Recorder, publication, posting, or thirty (30) days after passage, whichever occurs first.

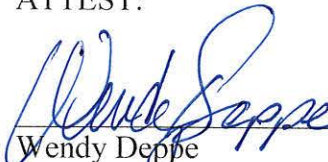
APPROVED, ADOPTED AND PASSED and ordered published by the Bluffdale City Council, this 22nd day of August, 2018.

CITY OF BLUFFDALE


Mayor



ATTEST:


Wendy Deppe
Bluffdale City Recorder

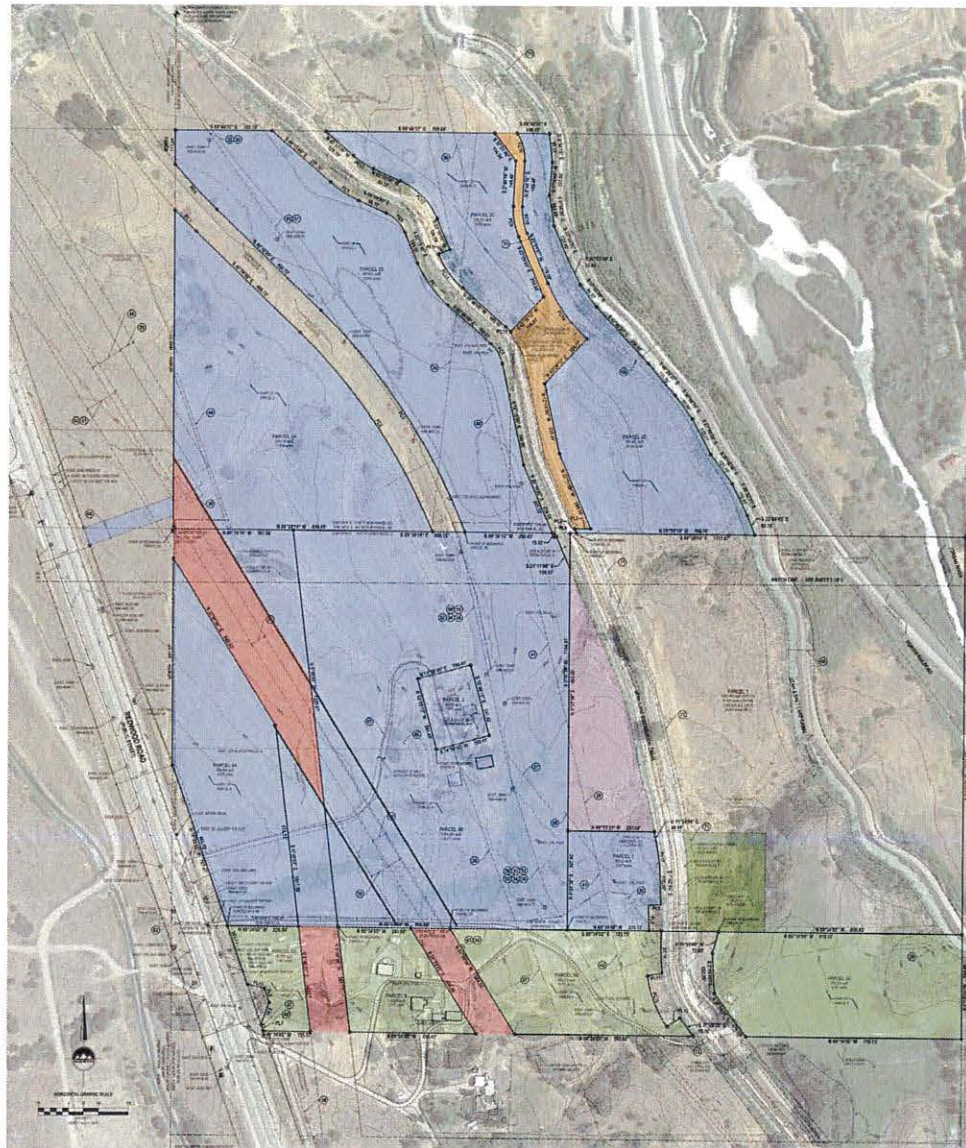
Council members

Voting:

AYE NAY

Wendy Aston	<u> X </u>	<u> </u>
Travis Higby	<u> X </u>	<u> </u>
Dave Kallas	<u> </u>	<u> X </u>
Ty Nielsen	<u> X </u>	<u> </u>
Boyd Preece	<u> X </u>	<u> </u>

EXHIBIT A



Parcel Summary

Parcel	Owner	Acres
1	Utah & Salt Lake Canal Co.	3.29
2a, 2b, 2c, 2d	Monarch Development	33.76
3	Monarch Development	1.00
4a, 4b	Monarch Development	32.88
5a, 5b, 5c	Wayne Mortimer	11.01
6	Wayne Mortimer	2.59
7	Monarch Development	2.23
8	Salt Lake County Parks & Rec.	1.96
9	Utah Power & Light	
10	Jordan Valley Water Conservancy District	3.19
Total		102.45

Bringhurst Station

Ownership Map
Bluffdale, Utah

July 2, 2018



BRINGHURST STATION PROJECT PLAN - APPENDIX F

EXHIBIT B

SD-X Bringhurst Station Special Development Project Plan

ARTICLE J. SD-X BRINGHURST STATION PROJECT ZONE

11-11J-1: INTENT AND PURPOSE:

11-11J-2: LAND USE AUTHORITY FOR SITE PLAN AND SUBDIVISION APPROVALS:

11-11J-3: CONCEPTUAL SITE PLAN:

11-11J-4: RESIDENTIAL DEVELOPMENT STANDARDS AND DESIGN GUIDELINES:

11-11J-5: COMMERCIAL DEVELOPMENT STANDARDS AND DESIGN GUIDELINES:

11-11J-1: INTENT AND PURPOSE

The intent of this special development zone is to provide a land use pattern that provides for a complementary and compatible mix of uses and a diversity of dwelling unit types. This article allows for the establishment of necessary supporting commercial, light industrial, and other uses consistent with a convenient and pedestrian friendly development layout. It is the intent of this article to allow for flexibility and creativity in the arrangement of uses while promoting efficiencies in the delivery of services.

The purpose is to develop Bringhurst Station, a mixed-use community consisting of up to three hundred thousand square feet (300,000) of commercial buildings and up to two hundred and ninety-seven (297) units on public and private streets, an HOA owned and maintained swimming pool and amenities, and park and trail amenities accessible to the public.

The Bringhurst Station Project Plan (BSPP) is also adopted as an accompanying document to the adopted ordinance. Design guidelines, standards, and specifications in this SD-X zone are created with this ordinance and shall supersede any conflicting design guidelines, standards, and specifications in any and all applicable City ordinances. Design standards not included in the SD-X Bringhurst Station shall be governed by the existing City code.

11-11J-2: LAND USE AUTHORITY FOR SITE PLANS and SUBDIVISIONS:

A site plan approval is required for all commercial and non-residential buildings, with the exception of townhome projects, within the SD-X Bringhurst Station zone. All applications are subject to Title 11 Chapter 15 herein and are required to be approved by the Bringhurst Station Architectural Review Committee (BSARC) prior to review by the land use authority. Bluffdale City Staff shall be the land use authority to review and approve all commercial, non-residential (i.e. schools, churches, parks, etc.) site plans. The Planning Commission shall be the land use authority to review and approve all townhome site plans for the zone.

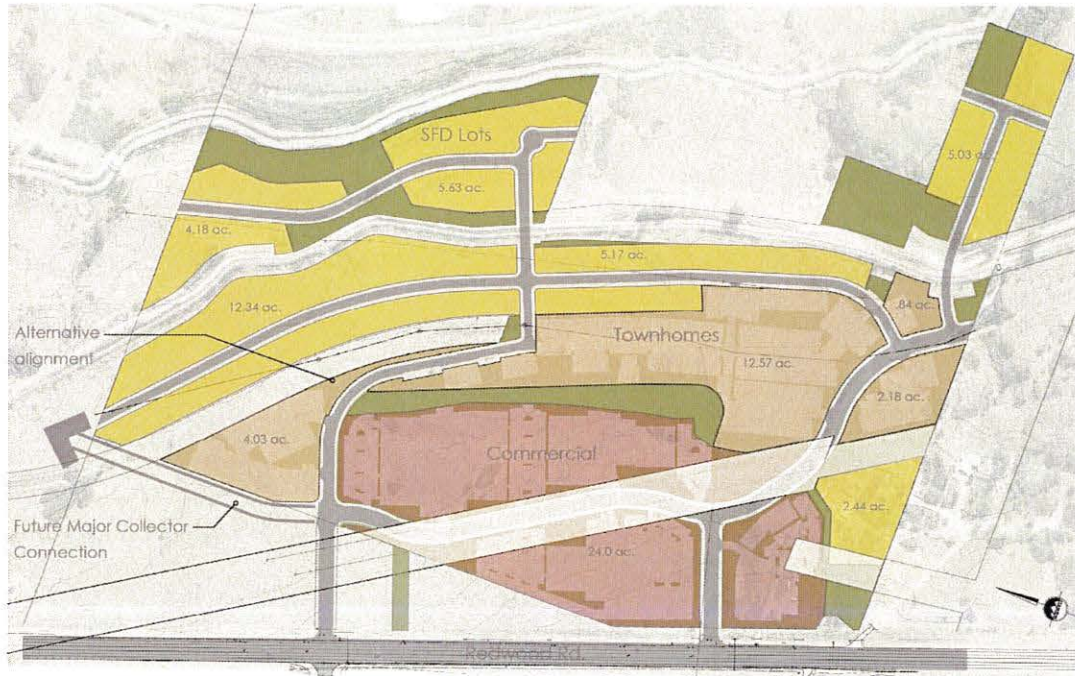
The adoption of the SD-X Bringhurst Station Special Development Zone and BSPP does not constitute a subdivision of the Bringhurst Station property. All future subdivisions of land within the SD-X Bringhurst Station zone is subject to all requirements of Title 12 herein and the BSPP and shall be reviewed and approved by the designated land use authority as stated.

11-11J-3: CONCEPTUAL SITE PLAN

- A. Conceptual Site Plan: The SD-Bringhurst Station Project Plan consists of 24.0 acres of commercial, 54.42 acres of residential, and approximately 30.0 acres of open space (total open space includes amenities within the residential and commercial parcels) for a total of 102.45 acres.

FIGURE 5: Conceptual Site Plan

Single Family Lots	34.80 acres
Townhomes	10.67 acres
Townhome Open Space	8.95 acres
Commercial	16.77 acres
Commercial Open Space	7.23 acres
Community Open Space	13.86 acres
Roads	10.17 acres
102.45 Total Acres	



- B. SD-X Commercial: The commercial areas of the SD-X Bringhurst Station consist of 24.0 acres. It is anticipated that up to 300,00 square feet of commercial buildings can be accommodated within Bringhurst Station, depending upon use and market demand. Potential commercial uses may include retail, auto dealerships, office, flex/incubator space, light industrial, and warehousing. Commercial uses will have direct pedestrian connections to community and regional trail networks, as well as good automobile access and visibility along Redwood Road.
- C. SD-X Residential Amenities: The residential portions of Bringhurst Station will include HOA owned and maintained swimming pool and amenities, and park and trail amenities accessible to the public. The pool and clubhouse will fill the need for larger gatherings than might be accommodated by the homes in the community.
- D. SD-X Parks, Open Space, and Trails Plan: Within a mixed-use community such as Bringhurst Station, active open space needs to be provided to benefit the overall community, provide connectivity to existing trail systems, and in the residential areas, to compensate for the smaller, private rear yard areas. Each lot contains sufficient private rear yard open space for small family gatherings, outdoor entertaining and small children play areas. Active park and

trail areas will provide the opportunity for larger, family and neighborhood gatherings, picnics and informal play areas for sports and similar recreation.

Bringhurst Station's active open space includes 30.0 acres in private trails and parks. The trails will connect with the County and or City owned and maintained trails adjacent to and within the project area.

Bringhurst Station proposes privately owned and maintained HOA parks and trails of approximately 30.0 acres. It is anticipated that there will be a public trailhead area dedicated to the City providing access to the Jordan River Parkway Trail and connectivity to the overall trail system throughout the development. The parks and trails will be informal play areas that include at a minimum turf, trees and an automatic irrigation system supplied by a secondary water system. As a privately owned and maintained park, the developer will not request reimbursement for the value of the park land and the improvements.

The private parks and public trails shall be included in construction drawings for all subdivision applications and installed per adopted City standards prior to the City Council's acceptance of the subdivision phase in which those improvements and amenities are included.

The site contains 3.29 acres which is owned by the Utah and Salt Lake and the Canal who will maintain the canal and its immediate surroundings. The developer shall build an BSARC approved thematic fence along the rear lot line of the lots adjacent to the canal prior to the City Council's acceptance of the subdivision phase in which the fencing is located.

The total active and passive parks, trails and open space areas are approximately 30.0 acres and will contain a variety of recreational amenities. Possible future park elements or amenities to constructed are provided in the BSPP.

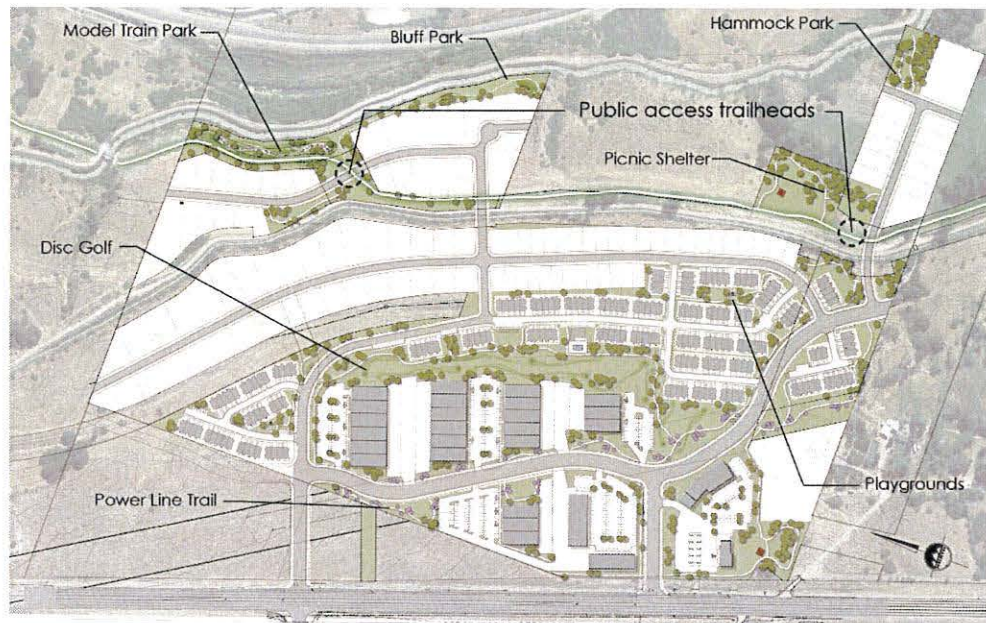
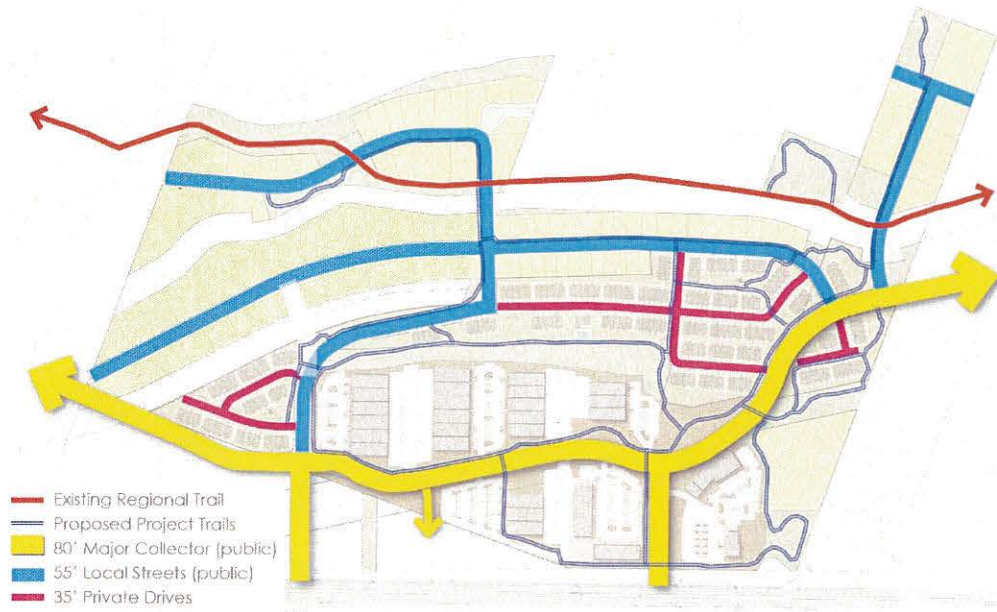


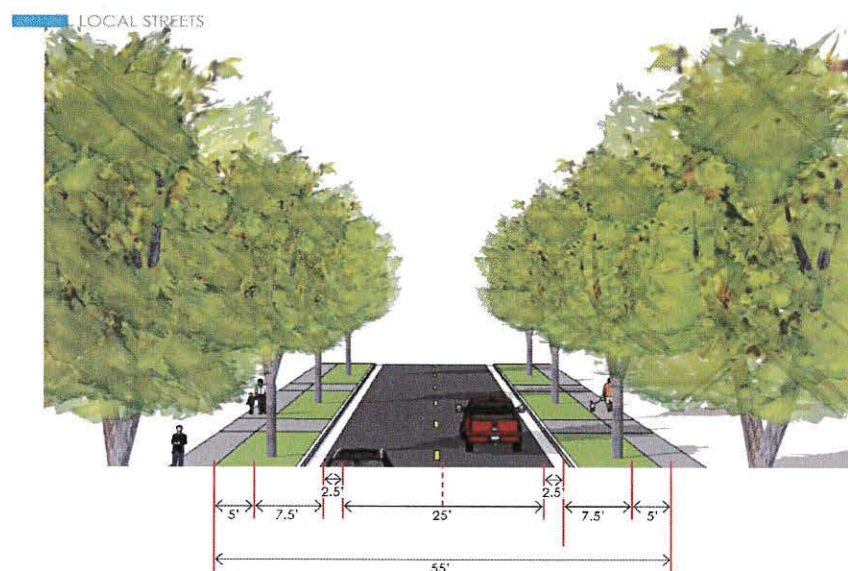
FIGURE 6: Open Space Plan

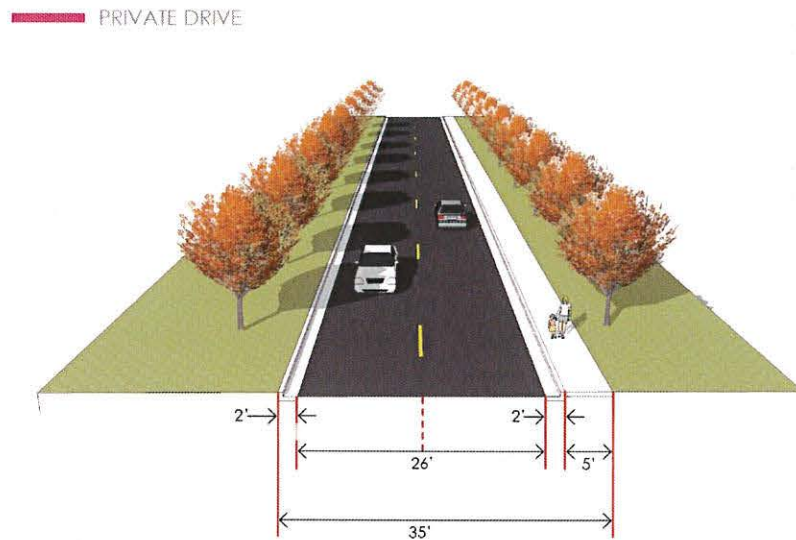
- E. SD-X Bringhurst Station implements the Bluffdale City Transportation Master Plan. The Master Plan identifies a major collector entering the property boundary from the south the turns westward and intersects with Redwood Road. A second major collector is proposed to intersect with the first and extend northward toward Porter Rockwell. The road structure proposed in Bringhurst Station closely resembles the City's Master Plan.

FIGURE 8: Transportation Master Plan Compliance



- F. Street Cross Sections and Private Drive: All local streets in Bringhurst Station are designed to be public streets constructed to the City's "standard residential A" street standard, generally described as a fifty-five feet (55') right of way, twenty-five feet (25') of asphalt, 2.5 feet concrete curb and gutters, a 7.5 feet landscaped park strip with street trees and a five-feet (5') concrete sidewalk.





- G. Street Tree Plan: All street trees to be installed before receiving certificate of occupancy for units on that street.



- H. Parking: Residential and commercial parking shall comply with the requirement specified in the Bluffdale City Code.

11-11J-4: RESIDENTIAL DEVELOPMENT STANDARDS AND DESIGN GUIDELINES

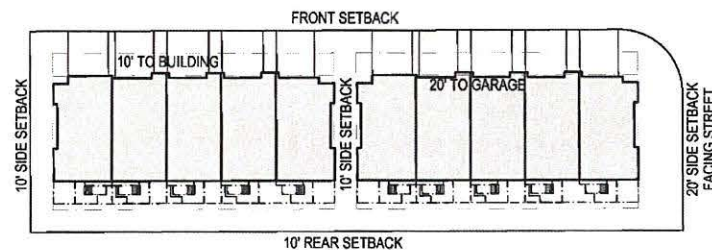
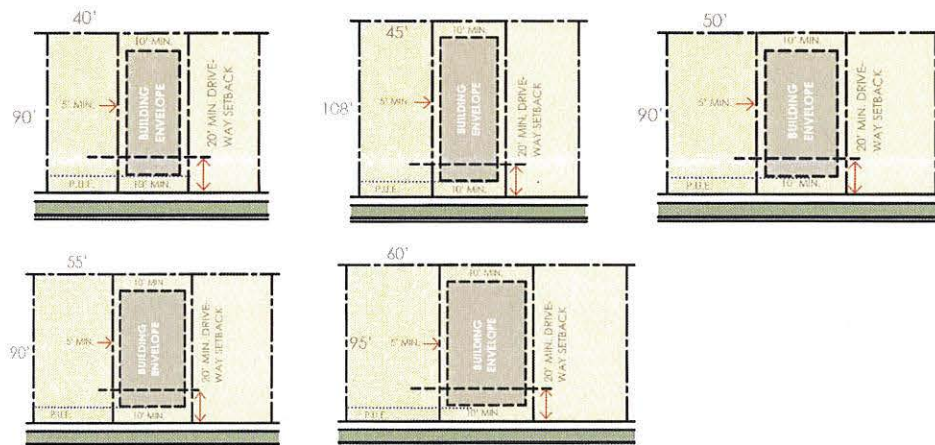
- A. Design guidelines, standards, and specifications in this SD-X zone shall supersede any conflicting design guidelines, standards, and specifications in any and all applicable City ordinances, including the subdivision ordinance, design guidelines and standard specifications, and the City's General Plan. Design elements not included in this SD-X zone shall be governed by the existing City Code.
- B. The SD-X zone requires specific development standards and regulations that apply to Bringhurst Station. The purpose is to develop standards that will enhance the overall appearance of the neighborhood.

C. Permitted, Conditional and Accessory Uses (residential areas):

1. Permitted Uses: Permitted uses are indicated by a "P" in the appropriate row and column.
2. Uses Not Permitted: Any use specifically indicated by an "N" shall not be allowed in this zone.
3. Subdivisions pursuant to the City's subdivision ordinances and the densities approved in this SD-X zone.

Permitted, Conditional and Accessory Uses (Residential Areas):	
Dwelling, Single-family: A dwelling containing only one dwelling unit.	P
Dwelling, Multi-family: A dwelling containing three (3) or more dwelling units.	P
Parks: A playground or other amenities in an area or open space providing opportunities for active or passive recreational or leisure activities either publicly or privately owned and maintained.	P
Public Uses: A facility or use, exclusive of public utility facilities, owned or operated exclusively by a public entity, having the purpose of serving the public health, safety or general welfare. Public uses include such uses and facilities as libraries, community buildings, schools, fire stations, police stations, etc.	P

D. Residential Lot Areas, Widths and Depths:



TYPICAL TOWNHOME SETBACKS

E. Residential Setbacks:

1. Main Building:

- a. Front yard setbacks shall be a minimum of ten feet (10'). Front yard accessed garages facing a street shall be set back a minimum of twenty feet (20').
- b. Interior side yard setbacks shall be a minimum of five feet (5'). Side yards adjacent to a street shall be set back a minimum of ten feet (10'), except that garages facing a side street shall be set back twenty feet (20').
- c. Rear yards shall be set back a minimum of ten feet (10').

2. Accessory Buildings: The side and rear yard setbacks for any permitted accessory building shall be a minimum of five feet (5').

3. Projections into Setbacks:

- a. Permitted: The following structures may be erected on or projected into any required setback:

- (1) Fences and walls in conformance with all applicable City ordinances and resolutions.
- (2) Appropriate landscaping.
- (3) Utility service boxes or similar structures.

- b. Setback Areas: The following structures may be erected on or projected into any required front or rear setback not more than four feet (4'), and into a side setback not more than two feet (2'):

- (1) Cornices, eaves, sills, buttresses, bay windows or other similar architectural features.
- (2) Awnings, decks and planter boxes.

F. Minimum Residential Building Separations: The minimum building separation between a main and accessory building on the same lot shall be ten feet (10').

G. Minimum and Maximum Residential Building Heights: A main building or structure shall not exceed thirty-five feet (35') in height, nor be lower than ten feet (10') in height, rear detached garages shall not exceed fifteen feet (15') and other accessory buildings such as sheds or carports shall not exceed ten feet (10') in height.

H. Minimum Standards for Residential Parking: Each dwelling unit shall have a minimum of two (2) spaces located within a fully enclosed garage.

I. Public Utility Easements in Residential Developments: Public utility easements need to be a minimum of five feet (5') in width along the street frontage of the lot. P.U.E.s will not be required in the side yard or rear of lots.

J. Minimum Standards for Residential Architectural Design, Streetscape, Fencing and Landscaping:

- 1. Bringhurst Station Architectural Review Committee (BSARC): The CC&Rs shall be recorded with any plat and shall form the Bringhurst Station architectural review committee (BSARC) and give it the power and responsibility to review all building construction within the residential portions of the development. The BSARC shall be comprised of a minimum of two

(2) individuals who have experience in either design or construction. The minimum responsibilities of the BSARC shall be the following:

- a. Prior to submittal to the City of Bluffdale for building permit review, the BSARC shall approve all dwelling unit types including the variety of elevations, materials, color schemes, landscaping and accessory buildings.
- b. The BSARC shall provide the City of Bluffdale with an approved set of plans and a letter of approval that shall be included with the submittal package for building permit review.
- c. The BSARC shall approve all conceptual and final landscape plans for the design and construction of the HOA park and the trail.
- d. Prior to submittal to the City of Bluffdale for building permit review, the BSARC shall approve all requests for fencing construction to ensure that the Bringhurst Station thematic fencing is to be constructed.

2. Residential Architectural Design Guidelines: Consistent with the requirements of the SD-X zone, Bringhurst Station requires enhanced architectural elements and features that will result in homes that are thematic and include enhancements to visible side and rear facades from either public streets or the private park or trail. The following architectural design guidelines shall dictate the design and construction of homes within Bringhurst Station:

- a. Stucco, masonry, fiber cement siding and/or similar construction products shall be used on all exterior walls. No vinyl siding shall be permitted.
- b. A minimum of two (2) elevations shall be drawn for each dwelling unit type. Differences between elevations may include rooflines, use of exterior materials, color schemes, use or size of porches, window location, size, shape or treatments and similar features that vary the appearance of the elevation.
- c. Where the same dwelling unit type is to be constructed adjacent to or directly across the street, a different elevation shall be used including a different roofline, exterior materials and color schemes.
- d. A front facade shall include either masonry or fiber cement siding that covers a minimum of thirty percent (30%) of the facade not including the area of the garage door.
- e. Windows and doors on the front facade shall be trimmed with wood or a wood-like product, or a stucco trim that is a minimum six inches (6") in width.
- f. Covered porches shall be supported by a minimum six-inch (6") wood or wood-like, or stucco post that extends from a minimum thirty-six inches (36") and twelve inches (12") width base covered by the same masonry or fiber cement siding used on the front facade.
- g. Where masonry is used on the front exterior at corners, it shall be wrapped around to the side exterior a minimum of twenty-four inches (24").
- h. Rooflines shall not be flat or at a low angle, generally described as less than a six to twelve (6:12) pitch. Modern style homes may have a roof pitch less than four to twelve (4:12).
- i. Front facing garages shall be placed in line with the front elevation, be extended no more than five feet (5') in front of the front elevation or be recessed behind the front elevation. It is encouraged that some of the homes extend the living space or a covered porch to the ten-foot (10') front yard setback line or within five feet (5') of the front setback line.

j. Rear or side end facades that are visible to a street, the private park or trail shall include additional treatments such as, but not limited to, the addition of the front facade wainscoting down the visible side facade, additional fiber cement siding, additional windows, pop outs and window or door wood or wood-like trims a minimum of six inches (6") in width.

3. Streetscape Design, Street Trees and Front Yard Landscaping: Bringhurst Station streets will be public streets designed to the City's "standard residential A" street standard. The standard provides a 7.5-foot park strip and a five foot (5') concrete sidewalk between the back of curb and the right of way/property line. To create a more cohesive neighborhood appearance, similar landscaping of the parkways shall be performed by the homebuilder. Turf shall be planted in the parkways. Where possible, drought tolerant turf species may be used to reduce water usage.

Street trees shall be planted and maintained in compliance with City standards. Trees shall be installed in accordance with Figure 9 herein with each subdivision plat or site plan application. These trees shall be installed by the homebuilder according to City guidelines prior to the issuance of a certificate of occupancy and shall be maintained by the adjacent property owner. The adjacent home owner or HOA shall be responsible for maintaining the park strip and removing snow from the sidewalk along the public streets.

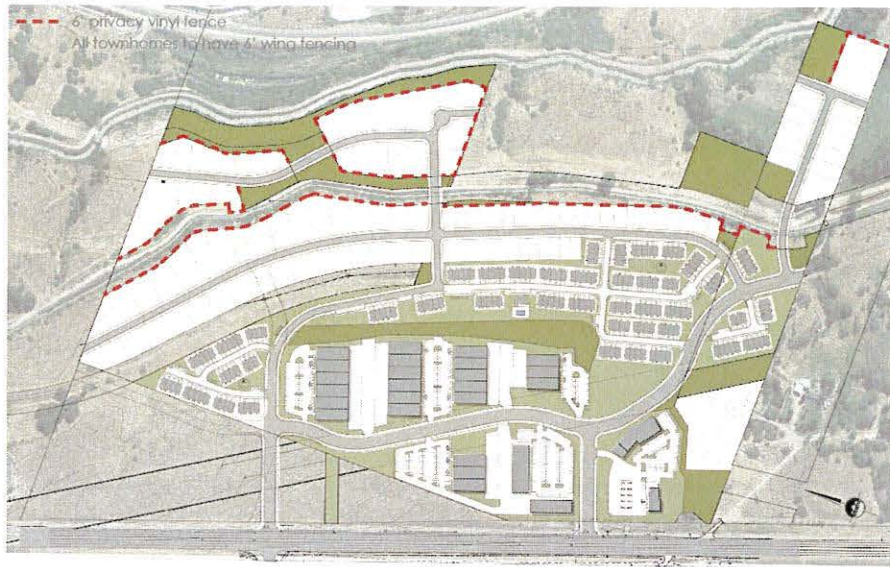
The homebuilder shall landscape the front yards, side yards, and park strips of all lots, as well as the rear yards of the townhome lots based upon a conceptual landscape plan approved by the BSARC. The landscaping shall include an automatic irrigation system supplied by the culinary water system. The landscaping shall include turf, shrubs and ground covers.

The front yard, side yard, and park strip landscaping shall be installed prior to issuance of a certificate of occupancy except that between the months of October and April, the homebuilder may delay the installation until the end of the following month of June if a bond is posted pursuant to the City's adopted fee schedule.

4. Fencing: The consistent and uniform installation of thematic fencing will contribute to the Bringhurst Station sense of neighborhood. The homebuilder shall install the BSARC approved thematic fencing along the length of the street side lot line from a distance no more than five feet (5') from the building corner and the lot rear corner. The thematic fence shall be a vinyl privacy fence throughout the entire development. It shall be the responsibility of the Bringhurst Station HOA to ensure all fencing continues to meet the requirements of the BSARC.

Figure 10 below shows the location of required fencing that will be installed by the homebuilder, except that the developer will install the fencing along the rear lot line of the lots adjacent to the canal prior to certificate of occupancy issued for those lots. The developer shall install the required thematic fencing prior to the City council's acceptance of the subdivision phase in which the fencing is located. The homeowner may choose to install additional thematic fencing along other lot lines not noted on Figure 10.

FIGURE 10: Fencing Plan



11-11J-5: COMMERCIAL DEVELOPMENT STANDARDS AND DESIGN GUIDELINES

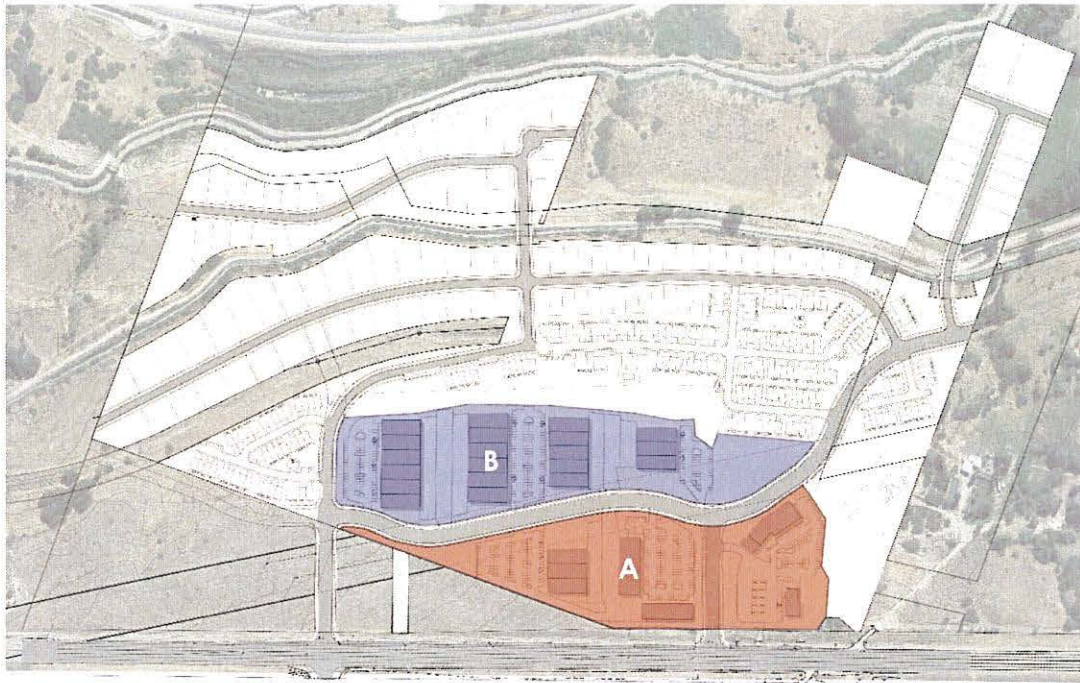
- A. Permitted Uses: Permitted uses are indicated by a “P” in the appropriate row and column.
- B. Uses Not Permitted: Any use specifically indicated by an “N” shall not be allowed in this zone.
- C. Subdivisions pursuant to the City’s subdivision ordinances and approved in this SD-X zone.

Permitted, Conditional and Accessory Uses (Commercial Areas A&B):	A	B
Automobile and recreational vehicle sales: An establishment engaged in the retail sale or wholesale from the premises of motorized vehicles, along with incidental service or maintenance. Typical uses include new and used automobile and truck sales, boat sales, recreational vehicle sales, and motorcycle sales.	P	P
Automotive service: An establishment providing motor vehicle repair or maintenance services within completely enclosed buildings, including paint and body shops or other general vehicle repair services which have associated storage, overnight or otherwise, of vehicles, equipment, supplies, parts, or inventory in an enclosed and screened area outside of the building.	N	P
Bank or financial institution: An organization involved in deposit banking, finance, investment, mortgages, trusts, and the like, but excluding uses specifically classified in another definition herein. Typical uses include commercial banks, credit unions, finance or mortgage companies, and savings institutions.	P	P
Business services: An establishment completely operating within a building, providing other businesses with various services including maintenance, repair and service, testing, rental, etc.; also includes business equipment repair services (except vehicle repair), computer related services (rental, repair), equipment rental businesses within buildings, film processing and photo finishing, janitorial and window cleaning services, mailbox services and similar uses.	P	P
Car wash: An establishment primarily engaged in cleaning or detailing motor vehicles, including cars, passenger trucks, recreational vehicles, whether self-service, automatic or by hand. This definition applies only to car washes that are the primary use of land. A car wash associated with a gas station is not included in this definition.	P	P
Commercial vehicle and equipment rental or sale: An establishment engaged in the retail sale, wholesale, or rental from the premises of motorized commercial vehicles, trailers, and equipment, along with incidental service or maintenance. Typical uses include new or used commercial vehicle and truck sales, moving trailer and truck rental, construction equipment rental yards and farm equipment and machinery sales and rental.	P	P
Construction sales and service: An establishment engaged in the retail or wholesale sale of materials and services used in the construction of buildings or other structures. Typical uses include lumberyards, lawn and	N	P

Permitted, Conditional and Accessory Uses (Commercial Areas A&B):	A	B
garden supply stores, construction equipment sales and rental, electrical, plumbing, air conditioning and heating supply stores, swimming pool sales, and other home improvement products. Areas for the display of goods may be outside a building as an accessory use to the primary business with acceptable screening and fencing.		
Convenience store: An establishment, not exceeding five thousand (5,000) square feet of gross floor area, serving a limited market area and engaged in the retail sale or rental, from the premises, of food, beverages and other frequently or recurrently needed items for household use, excluding gasoline sales.	P	P
Data center: A facility used to house computer systems and associated components, such as telecommunications and storage systems.	N	P
Gas station: An establishment engaged in the retail sales of gasoline and petroleum products. This definition includes gasoline sales conducted as part of a convenience store. A gas station may also include automatic and self-serve car washes which are accessory to the primary use.	P	P
Hotel: An establishment with or without fixed cooking facilities in individual rooms offering transient lodging accommodations to the general public, and which may provide additional services such as restaurants and meeting rooms.	P	P
Laundry services: An establishment providing household laundry and dry-cleaning services with customer drop off and pick up where laundering or cleaning is done on the site. This use also includes an establishment providing home type washing, drying, and/or ironing machines for hire or rent to be used by customers on the premises, such as a laundromat.	P	P
Liquor store: A retail outlet for the sale of packaged liquor located on premises owned or leased by the state of Utah.	P	P
Manufacturing, general: An establishment engaged in the manufacture of finished products or parts, predominantly from previously prepared materials, including processing, fabrication, assembly, treatment and packaging, and incidental storage, sales and/or distribution of such products, but excluding basic industrial processing and manufacturing activities. These uses shall not have noise, odor, vibration or other discernible nuisances outside a building.	N	P
Medical service: An establishment providing therapeutic, preventive, or corrective personal treatment services on an outpatient basis by physicians, dentists, and other practitioners of the medical or healing arts, as well as the provision of medical testing and analysis services.	P	P
Movie theater: A facility which includes one or more theaters for the presentation of motion pictures. May also include accessory retail uses and concessions.	P	P
Museum: A building or room in which objects of historical, scientific, artistic, or cultural interest are stored and exhibited.	P	P
Office, general: A building, room or department where executive, management, administrative or professional services are provided, except medical services, and excluding the sale of merchandise, except as incidental to a principal use. Typical uses include real estate brokers, insurance agencies, credit reporting agencies, property management firms, investment firms, employment agencies, travel agencies, advertising agencies, secretarial services, data processing, call centers; post offices and express mail offices as an accessory or complementary use to a professional and business office development, but excluding major mail processing and distribution; offices for utility bill collection; professional or consulting services in the fields of law, architecture, design, engineering, accounting and similar professions; interior decorating consulting services; and business offices of private companies, utility companies, public agencies, trade associations, unions and nonprofit organizations.	P	P
Parks: A playground or other amenities in an area or open space providing opportunities for active or passive recreational or leisure activities either publicly or privately owned and maintained.	P	P
Personal instruction service: An establishment primarily engaged in the provision of informational, instructional, personal improvement and similar services of a nonprofessional nature. Typical uses include art and music schools, driving and computer instruction, gymnastic and dance studios, handicraft or hobby instruction, health and fitness studios, massage therapist instruction, martial arts training, and swimming clubs.	P	P
Personal service establishment: An establishment providing nonmedical services to individuals as a primary use. Examples of these uses include barbershops, beauty salons, day/health spa, hair salons, nail salons, shoe repair shops, tanning salons, tailors and similar businesses not including tattoo establishments.	P	P
Preschool/daycare center: An establishment, other than an occupied dwelling, operated by a person or organization qualified by the state, which provides daycare, protection or supervision and/or preschool instruction.	P	N

Permitted, Conditional and Accessory Uses (Commercial Areas A&B):	A	B
Printing shops: The production of books, magazines, newspapers and other printed matter, as well as publishing, or graphic arts design, engraving or photoengraving.	N	P
Public Uses: A facility or use, exclusive of public utility facilities, owned or operated exclusively by a public entity, having the purpose of serving the public health, safety or general welfare. Public uses include such uses and facilities as parks, libraries, community buildings, schools, fire stations, police stations, etc.	P	P
Recreation and entertainment (indoor): A commercial recreational land use conducted entirely within a building, including arcade, arena, athletic and health clubs, bowling alley, community center, gymnasium, pool or billiard hall, skating rink, swimming pool, tennis court or similar indoor facility. Related indoor uses may include a retail area for the sale or rental of equipment and a snack bar.	P	P
Recreation and entertainment (outdoor): An area or facility that offers entertainment or recreation outside. This use may include, but not be limited to, a golf driving range, baseball batting cages, riding arenas, tennis facilities, water sports facilities, cycling facilities, and miniature golf, and may include, as accessory uses, associated eating and drinking areas, retail sales areas and staff offices.	P	P
Repair service: An establishment primarily engaged in providing repair services to individuals and households rather than firms, but excluding automotive, vehicular and equipment services uses. Typical uses include appliance repair shops, computer and other electronic equipment repair, furniture repair and upholstery shops, watch or jewelry repair shops, and musical instrument repair shops.	P	P
Research and development laboratories: An establishment engaged the development of new products or services using technical, medical, or scientific innovations.	P	P
Restaurant: A facility where food and drinks are prepared and served to the public for on-site consumption (dine in), takeout, or delivery service. A restaurant may include a drive-through.	P	P
Retail, general: An establishment that rents or sells goods to the public, but excluding uses specifically classified in another definition herein. Typical uses include apparel stores, antique shops, art and hobby supply stores, bicycle shops, bookstores, clothing rental stores, department stores, discount stores, drugstores, electronic appliance stores, florists, food stores, furniture and appliance stores, gift and novelty shops, glass and mirror shops, hardware stores, home improvement centers, jewelry stores, medical supply stores, music stores, optical retail sales, paint stores, pet stores, photocopying and blueprinting shops, photography supply stores, etc.	P	P
Trade or technical schools: An establishment, for profit or not, conducting a course of instruction, training, or retraining to prepare individuals to follow an occupation or trade offering regularly scheduled instruction in technical, commercial or trade skills, such as, but not limited to, business, real estate, building and construction trades, electronics, computer programming and technology, automotive and aircraft mechanics and technology, and similar types of instruction.	P	P
Veterinary service: An establishment providing medical care and treatment for animals, which may include accessory grooming or boarding services.	P	P
Wholesale and warehousing: An establishment that is primarily engaged in the buying and selling of goods in large quantities and includes the storage and sale of goods to customers or other businesses for resale, as well as activities involving significant movement and storage of products or equipment.	N	P

Commercial Sub-Districts



F. Commercial Lot Area:

1. The minimum commercial lot area requirement in the is one-half (1/2) acre (condominiumized commercial buildings exempt from 1/2 acre minimum).

G. Commercial Lot Width:

1. The minimum commercial lot width requirement shall be one hundred fifty feet (150') for all of the area located in any required front setback area (condominiumized commercial buildings exempt from 150' lot width minimum).

H. Commercial Lot Frontage:

1. All commercial parcels shall abut a public street or approved private street or right of way for at least one hundred fifty feet (150') or have acceptable access to a public street through cross access or private right of way provided through an adjacent lot or parcel.

I. Commercial Setback Requirements:

1. The following minimum setback requirements shall apply in the zone. Each setback is measured from the property line of the lot or parcel.
 - a. Setbacks for lots or parcels abutting a public street:
 - (1) Front Setback: Each lot or parcel abutting a public street shall have a minimum front setback of ten feet (10').
 - (2) Side and Rear Setback: Each lot or parcel abutting a public street shall have a minimum side and rear setback for buildings of ten feet (10'). A total reduction of the rear

and side setbacks of up to ten feet (10') may be approved if doing so does not violate the adopted building and fire codes.

(3) No side setback shall be required along the interior lot lines, except as may be required by the City building codes and where the side lot line is contiguous to a residential area as shown on the BSPP, in which case side yard setback requirements of the contiguous residential zone shall apply.

(4) No rear yard setback shall be required, except as may be required by the City building codes or where the rear lot line is contiguous to a residential area, in which case the rear yard setback requirements of the contiguous residential area shall apply.

2. Setbacks for lots or parcels abutting a private street or right of way shall be five feet (5').

3. Setbacks for parking lots abutting a street right of way shall be ten feet (10').

J. Projections into Setbacks:

1. Permitted: The following structures may be erected on or projected into any required setback:

a. Fences and walls in conformance with all applicable City ordinances and resolutions.

b. Appropriate landscaping.

c. Necessary appurtenances for utility service.

2. Setback Areas: The following structures may be erected on or projected into any required front or rear setback not more than four feet (4'), and into a side setback not more than two feet (2'):

a. Cornices, eaves, sills, buttresses or other similar architectural features.

b. Awnings, decks and planter boxes.

K. Commercial Building Height Requirements:

A primary building or structure may not exceed sixty-five feet (65') in height, nor be lower than ten feet (10') in height. A hotel may not exceed one hundred ten feet (110') in height. All buildings and structures must adhere to adopted building and fire codes.

L. Distance Between Commercial Buildings:

The distance between any building or structure and any other building or structure shall satisfy the building and fire codes in place at the time of site plan approval.

M. Commercial Lot Coverage:

The sum total of all buildings, structures and parking on any parcel or project in the zone shall not exceed eighty five percent (85%) of the total area of the parcel or project.

N. Commercial Parking, Loading and Access:

1. Total required off street parking spaces shall be 4 stalls per 1,000 useable square feet for office and retail uses, and 1 stall per 10,000 square feet of warehouse. The spaces shall be hard surfaced with asphalt or concrete and be accessed from a public road by a hard surfaced, composed of asphalt or concrete, drive approach.

2. Loading and Unloading Area: Loading and unloading shall not occur on a public street. Loading docks and service areas, including non-retail gas pumps, shall be 80% screened from traffic with mounding and/or 4-season vegetative screening. Acceptable screening may also include decorative concrete walls.

O. Commercial Project Plan Approval:

1. Design guidelines, standards, and specifications in this SD-X Bringhurst Station zone shall supersede any conflicting design guidelines, standards, and specifications in any and all applicable City ordinances, design guidelines and standard specifications, and the City General Plan. Design elements not included in this SD-X Mixed Use zone shall be governed by the existing City code.
2. Projects in the SD-X zone will be reviewed and approved by BSARC prior to submitting a Site Plan Application for review and approval by the City Staff.

P. Minimum Standards for Commercial Architectural Design:

1. Commercial Architectural Design Guidelines: Consistent with the requirements of the SD-X Bringhurst Station zone requires enhanced architectural elements and features that will result in commercial buildings that are thematic and include enhancements to visible side and rear facades from either public streets or the private park or trail. The following architectural design guidelines shall dictate the design and construction of all non-residential buildings within Bringhurst Station.
 - a. Building Material:
 - (1) At least 80% of a building's façade along all streets shall be finished in one of the following materials:
 - i. Masonry (brick, stone, stucco utilizing a three-step process, cast stone, glass, or glass block)
 - ii. Split face concrete block or pre-cast or poured in place concrete.
 - iii. Wood or architectural metal panel, batt and board siding (no vinyl), or lap siding (no vinyl).
 - (2) No more than 20% of a building's façade along all streets shall use other accent materials: split-face concrete block, tile, EIFS or pre-cast concrete panels.
 - b. Building Massing:
 - (1) Building masses shall avoid long flat-plane expanses and incorporate horizontal relief no less than 2 feet in depth. The maximum length of a single facade expanse is one hundred (100) feet.
 - (2) Building masses shall be greater at areas with more pedestrian activity, such as street corners and building entrances.
 - (3) Single story building masses that exceed twenty (20) feet in height shall incorporate an overhead structure element above building entrances to provide pedestrian scale interest.
 - (4) Load-bearing materials should touch the ground
 - c. Arcades and Storefront Structural Bays:
 - (1) Storefront structural bays shall be orchestrated to appear as phased construction over a long period of time
 - (2) Substantial structural bays shall be composed of vertically oriented piers and horizontal spandrels with intervening storefront windows
 - (3) Arcades are encouraged as semi-public spaces between the street and storefront, sheltering pedestrians from the elements
 - (4) Multiple storefronts with separate storefront windows can be massed together within a single facade expanse with the same architectural style.
 - d. Roof Form
 - (1) Predominant roof shapes should be flat or slightly pitched, with limited use of gable or canted roof elements to provide breaks in facade type and/or add visual interest.

- (2) Roof pitches should be typically low (1:12-4:12)
- (3) Moderate overhangs up to three (3) feet should be supported by substantial dimensional steel braces that define the top of the building.

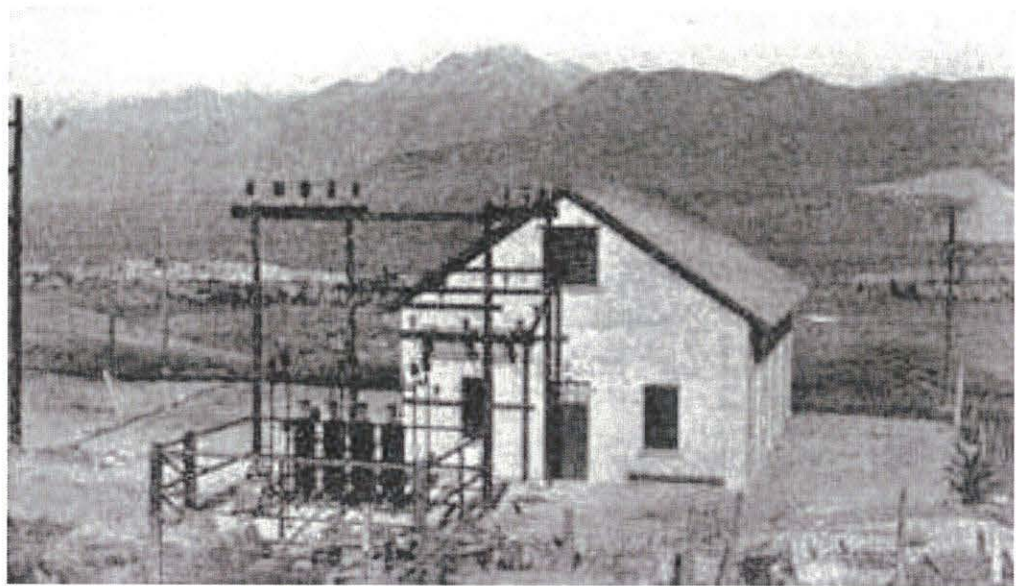
Q. Other Commercial Requirements: The following requirements are in addition to the requirements found in this title or any other applicable resolution or ordinance:

1. Landscaping: Individual lots or parcels located in this SD-X development are not subject to a minimum landscaping requirement so long as fifteen percent (15%) of the total developed project area is preserved as open space.
2. Screening of outdoor storage or display areas and mechanical equipment: All outdoor storage or display areas and mechanical equipment and other appurtenances, including electrical boxes, gas meters and other utility facilities shall be located or screened so as not to be visible from streets, pedestrian areas and adjacent developments. Screens shall be aesthetically incorporated into the design of the building whether located on the ground or on the roof. Acceptable screening includes 6' decorative privacy fences, mounding and/or 4-season vegetative screening. Screened areas must provide a minimum of 80% visual concealment year-round. Rooftop mechanical equipment and other appurtenances shall be installed so as not to be visible from any point at or below the roof level of the subject buildings. All mechanical equipment and utilities shall in all cases be either enclosed by outer building walls or parapets or grouped and screened in a manner architecturally compatible with the buildings.
3. Trash, Junk, Storage and Other Debris: No trash, used materials, unsightly storage of any kind, or non-licensed or abandoned vehicles shall be stored in an open area. All such materials shall be enclosed in a building or, if deemed appropriate by the City, by a sight obscuring fence.

R. Signage:

1. Signs: All Special District project plans shall propose a consistent and unified signage scheme.
2. Signage design and location shall be an important component of SD-X Bringham Station. All signs shall be reviewed and approved by the Bringham Station architectural review committee. Signage shall comply with the following standards:
 - a. Monument Signs: One (1) monument signs shall be allowed per building. Each monument sign shall have a uniform, architecturally compatible design consistent with the White Mountain business district commercial special district design theme with a sign area not larger than ninety-eight (98) square feet. Locations shall be approved by the City to ensure clearance of sight distance requirements at entries and adequate separation for readability. One sign per building is allowed along each main access road on the north and south of the buildings. Monument signs shall not exceed ten feet (10') in height and fourteen feet (14') in width.
 - b. Tower Signs: In addition to monument signs allowed per building, one tower sign shall be allowed at the entrance to the office park. Signs shall not exceed six feet (6') in width and sixteen feet (16') in height and shall not exceed ninety-six (96) square feet in sign area. Tower signs shall be at least fifteen feet (15') from the public right of way and shall meet the sight distance requirements.
 - c. Wall Signage: Wall signage may be installed by individual businesses/buildings on freestanding and in-line single-/multi-tenant buildings.
 - d. Types of wall signage shall be limited to the following:
 - (1) Individually cut letters or signs from plastic or aluminum;
 - (2) Painted directly on the exterior of the building;

- (3) Individual pan channel letters mounted on a raceway.
- (4) Pan channel letters may be illuminated;
- (5) Decorative sign cabinets. Where sign cabinets are utilized they shall be built into the architectural fascia.
- e. Signage shall be allowed on all sides of the building that are visible from a street or drive aisle.
- f. Where a tenant or building occupant has more than one entry, multiple signs will be allowed to define different divisions of the company.
- g. For every one (1) linear foot of building length per tenant, two (2) square feet of wall signage shall be allowed.
- h. Wayfinding Signs: Wayfinding signs shall be allowed in the project. Height shall not exceed eight feet (8'). The area of the sign shall not exceed one hundred (100) square feet.
- i. Suspended, Blade Type Projecting Signs: Suspended or blade type projecting signs may be provided along pedestrian walkways and shall maintain a minimum clearance of seven feet (7') above the pavement.
- j. Flags, Banners: If flags or banners are placed on light poles, they shall be at least seven feet (7') above the pavement.



BRINGHURST STATION SPECIAL DEVELOPMENT - MIXED USE

As Approved by the Bluffdale City Council
8-22-2018



Prepared by:

Staker Company

Ensign Matt

Lepire

Psomas

Edge Homes

ae urbia

BRINGHURST STATION SPECIAL DEVELOPMENT - MIXED USE

Bluffdale, Utah

CONTENTS

11-111-1: Intent and Purpose	1
11-111-2: Existing Conditions	1
11-111-3: Conceptual Site Plan	6
Architectural Examples for Residential and Commercial Buildings	17

LIST OF FIGURES

Figure 1 - Vicinity Map	1
Figure 2 - Site Constraints	3
Figure 3 - Bluffdale General Plan Map	4
Figure 4 - General Plan Map	4
Figure 5 - Conceptual Site Plan	6
Figure 6 - Open Space Plan	7
Figure 7 - Bluffdale City Transportation Master Plan	11
Figure 8 - Transportation Master Plan Compliance	11
Figure 9 - Street Tree Plan	13

LIST OF EXHIBITS

Exhibit 1 - General Plan Compliance	5
Exhibit 2 - Parking Requirements	14
Exhibit 3 - Lot Configurations	15-16

APPENDICES

A: Edge Product Plan	
B: Edge Open Space Plan	
C: ae urbia Commercial Building Renderings	
D: Engineering Drawings	

This page intentionally left blank

BRINGHURST STATION SPECIAL DEVELOPMENT - MIXED USE

Bluffdale, Utah

11-111-1: INTENT & PURPOSE

The intent of this Special Development is to provide a land use pattern that provides for a complementary and compatible mix of uses and a diversity of dwelling unit types. This article allows for the establishment of necessary supporting commercial, light industrial, and other uses consistent with a convenient and pedestrian friendly development layout. It is the intent of this article to allow for flexibility and creativity in the arrangement of uses while promoting efficiencies in the delivery of services.

The purpose is to develop Bringhurst Station, a mixed use community consisting of up to three hundred thousand square feet of commercial buildings and up to two hundred ninety seven (297) units on public and private streets, an HOA owned and maintained swimming pool and amenities, and park and trail amenities accessible to the public.

Design guidelines, standards, and specifications in this SD-X zone shall supersede any conflicting design guidelines, standards, and specifications in any and all applicable city ordinances, including the subdivision ordinance, design guidelines and standard specifications, and the city general plan. Design elements not included in the SD-Bringhurst Station shall be governed by the existing municipal code.

11-111-2: EXISTING CONDITIONS

- A. Bringhurst Station is located south of the future extension of Porter Rockwell Blvd, east of Redwood Road and west of the Jordan River Corridor.

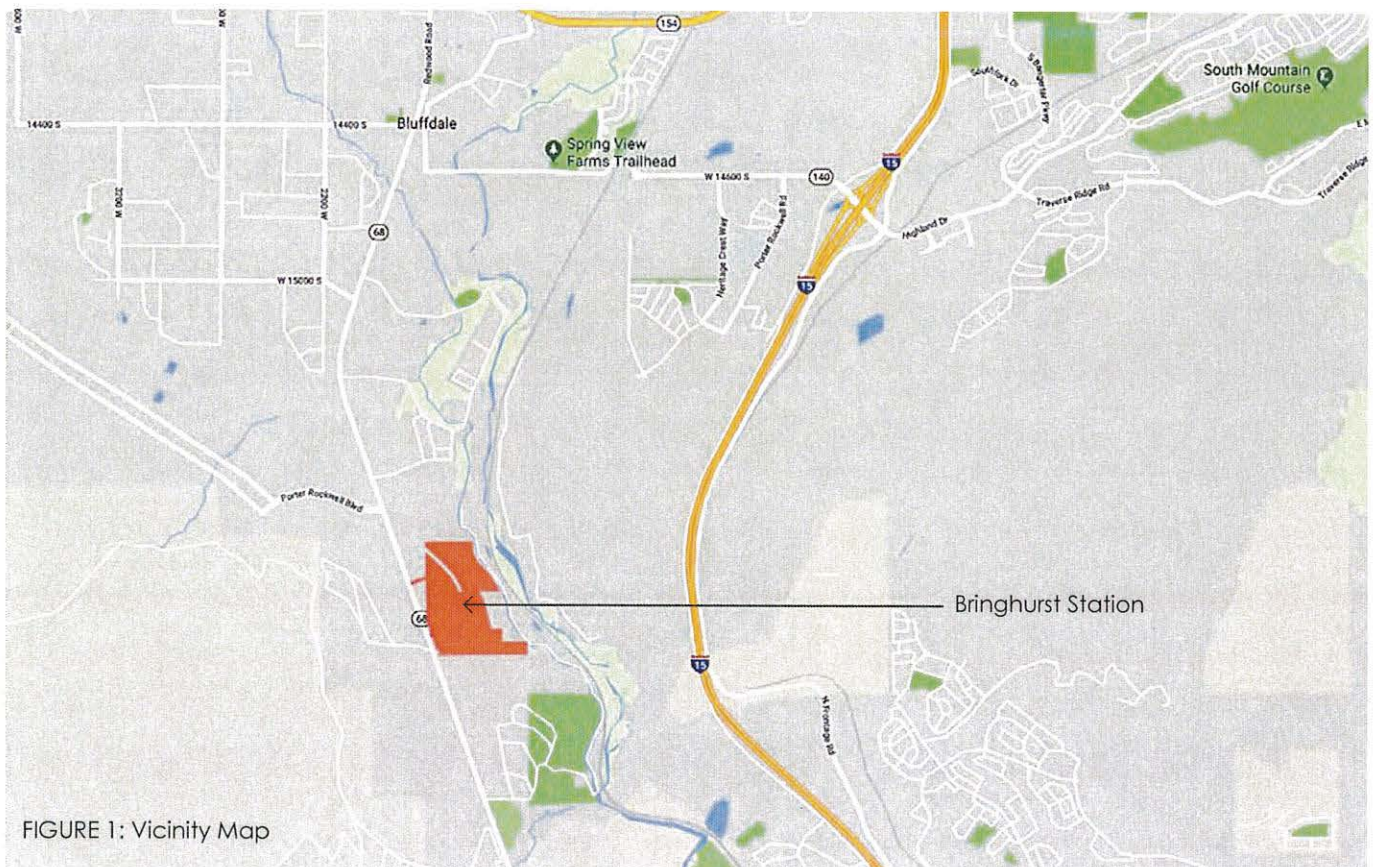
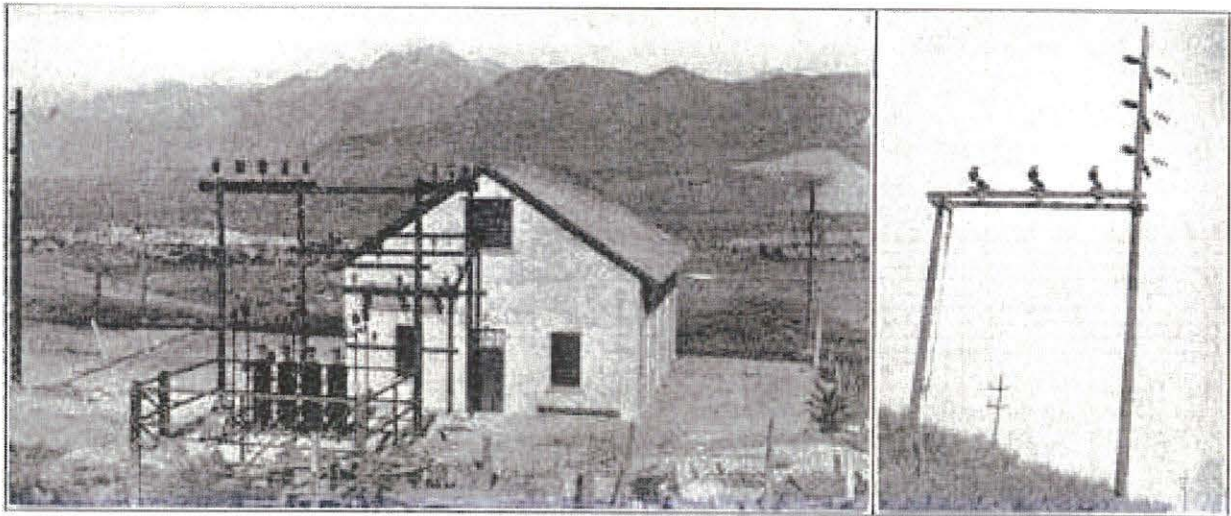


FIGURE 1: Vicinity Map

BRINGHURST STATION PROJECT PLAN

- B. History: Bringhurst Station played an important role in one of the most unique historical episodes to occur along the Wasatch Front. In the early 1900s the Salt Lake & Utah Railroad operated a 1500-volt interurban line from Salt Lake City to Payson. Bringhurst Station contained three single-phase transformers designed to stabilize power load conditions. Electric trains were a relatively short lived phenomenon. Bringhurst Station was in operation for nearly 30 years. The small structure pictured below, that housed the electrical equipment, has fallen into severe disrepair and is no longer structurally sound. In order to pay homage to historic significance of this site much of the community theming will draw inspiration from this building, in terms of material and form. Bricks from the building may be used in project entry monumentation or other community amenities. Other representative railroad elements will also be used in Bringhurst Station to reinforce this unifying theme for the community.



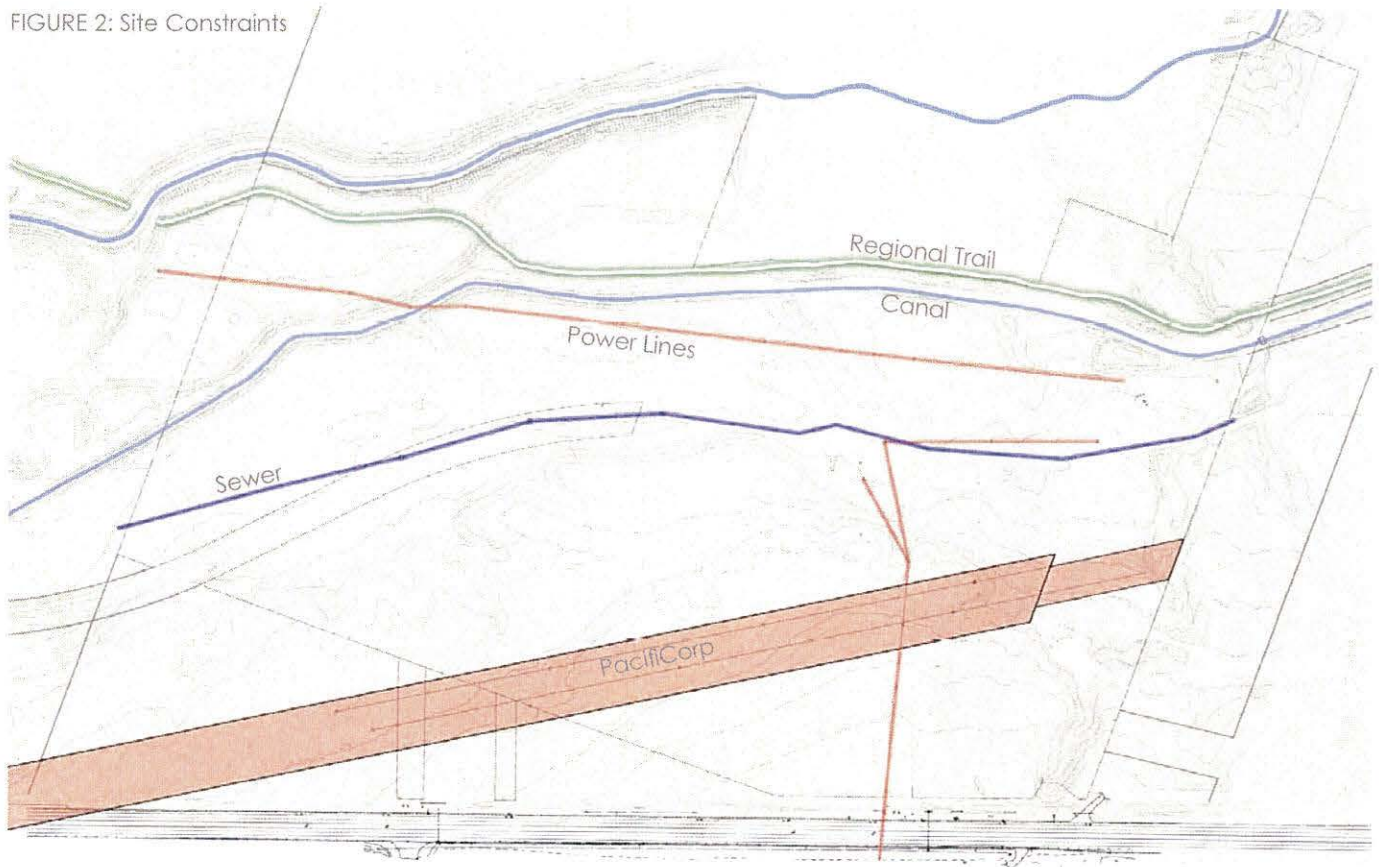
UTAH SUBSTATION—BRINGHURST SUBSTATION OF SALT LAKE & UTAH RAILROAD, SHOWING INCOMING HIGH-TENSION LINES; ALSO THREE-PHASE AIR-BREAK SWITCHES AT POINT WHERE TAP LINE TO SUBSTATION CONNECTS WITH TRANSMISSION LINE

- C. Background: In January 2016 the concept plan presented to Bluffdale City Council proposed a mixed use development with more than 500 residential units. Since that time the Bringhurst Station development team has worked closely with City Staff and listened to the direction of Council to create a plan that is more in harmony with the General Plan. In January 2018 Staker made another presentation to City Council to inform them of our progress. The 350 residential units proposed in the SD-Bringhurst Station represents a significant decrease in unit count compared to previous concept plans, coupled with non-residential uses that will provide the City opportunities to increase tax revenue generation.



UTAH SUBSTATION—ROUTE OF THE SALT LAKE & UTAH RAILROAD ALONG THE JORDAN CANYON AT THE NARROWS; WASATCH MOUNTAINS ARE IN THE DISTANCE

FIGURE 2: Site Constraints



D. Site Constraints: This is a challenging site. Topographically, the site terraces away from Redwood road down toward the Jordan River and contains areas of significant slope. In addition, a large power line corridor bisects the western quadrant of the site. The site is also fragmented by an existing sewer line that runs through the center and the Utah Lake Canal that impacts the eastern edge. Ownership boundaries are irregular in shape. Every effort has been made to incorporate adjacent parcels in order to produce a more comprehensive zone area.



- E. Bringhurst Station, as a large-scale master planned mixed use community, lends itself to a blended land use approach due to topographic and other site constraints. The General Plan identifies Mixed Use (MU) and Low Density Residential (LDR) uses on-site separated by the canal. The land use configuration and proposed residential densities in this Special Development are consistent with the City of Bluffdale General Plan. The proposed commercial parcels and the location of the townhomes corresponds with the prescribed Mixed Use area. Single family lots are located within the prescribed LDR area. (see Figures 3 and 4)

FIGURE 4: General Plan Map

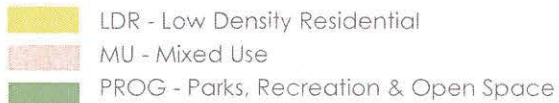
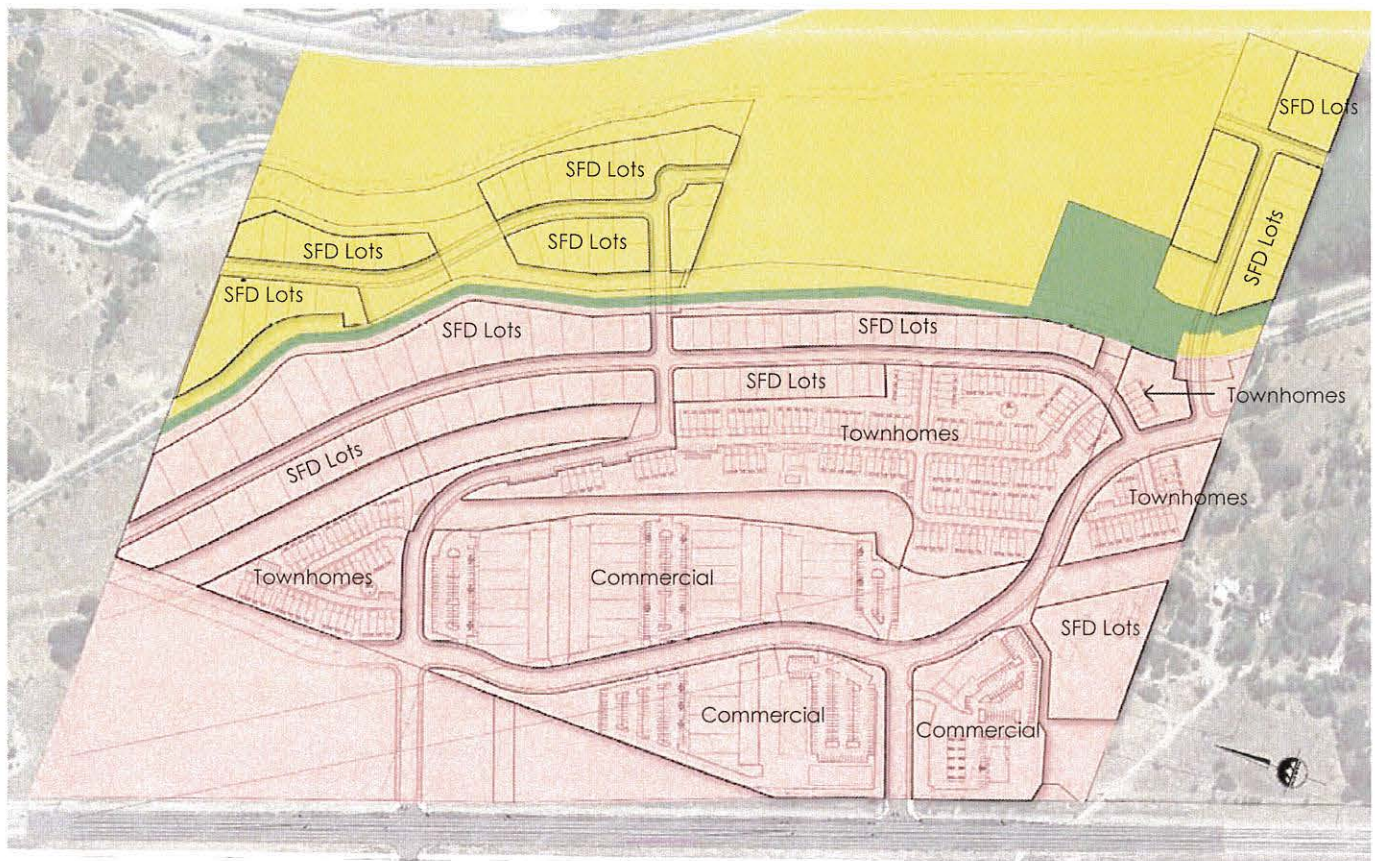
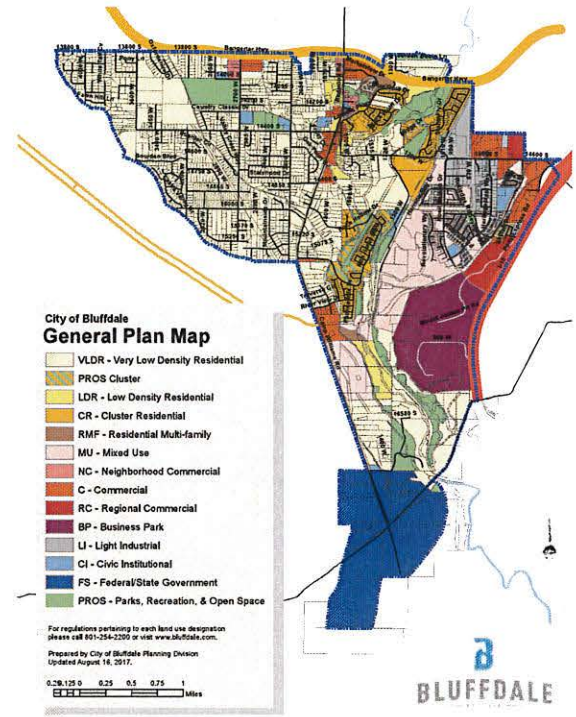


FIGURE 3: Bluffdale General Plan



BRINGHURST STATION SPECIAL DEVELOPMENT - MIXED USE

Bluffdale, Utah

The Bluffdale General Plan provides descriptions and goals for the land uses that have been assigned to this property on the General Plan Map.

EXHIBIT 1 - BLUFFDALE GENERAL PLAN

LAND USE	DESCRIPTION	GOAL
LOW DENSITY RESIDENTIAL (1-4 du/acre)	Single family detached residential. Development may be clustered pursuant to applicable zoning regulations to avoid environmental constraints (e.g. floodplain), protect sensitive features (e.g., critical wildlife habitat), or create shared public or private open space.	• Conventional suburban development pattern. • Preserve open space on-site and within neighborhoods, where appropriate • Provide land for public and civic uses such as parks and recreation, schools, and other community uses. • Contribute to a connected system of open space and trail corridors.
MIXED USE (Minimum average density of 5.5 du/acre)	Balanced combination of residential and commercial, including opportunities for office, finance, civic, government, entertainment, retail, restaurants, and housing. Housing should include a variety of product types and price points, including single family dwellings, townhomes, apartments and condominiums, and live/work units.	• Mix of land uses and higher densities to promote an active environment, utilize infrastructure efficiently, and support community amenities. • Provide a buffer or transition from higher intensity commercial development and high-traffic corridors. • Multi-story buildings that may include ground floor retail with residential or office above. • Provide shared public spaces such as plazas, parks, and venues for outdoor entertainment. • Support pedestrian and bicycle accessibility through urban form, building configuration and design, shared parking, pedestrian safety features, bicycle facilities, and attractive streetscape.
COMMERCIAL	Activity centers that include retail, office, personal service, entertainment, and public facilities. Residential units may be incorporated into a commercial development as accessory uses, as appropriate.	• Commercial centers at a scale that serves primarily local residents. • Balance of retail, entertainment, employment, and service uses. • High quality landscaping, signage, and design that reflects Bluffdale's desired character. • Provision of pedestrian and bicycle facilities in support of a multi-modal transportation network

COMPLIANCE: The SFD Lots proposed in Bringhurst Station are consistent with the description and goals stated above. These lots respect the Jordan River floodplain and are designed avoid critical habitat. These lots compliment the regional river trail and provide increased access to other regional recreational amenities.

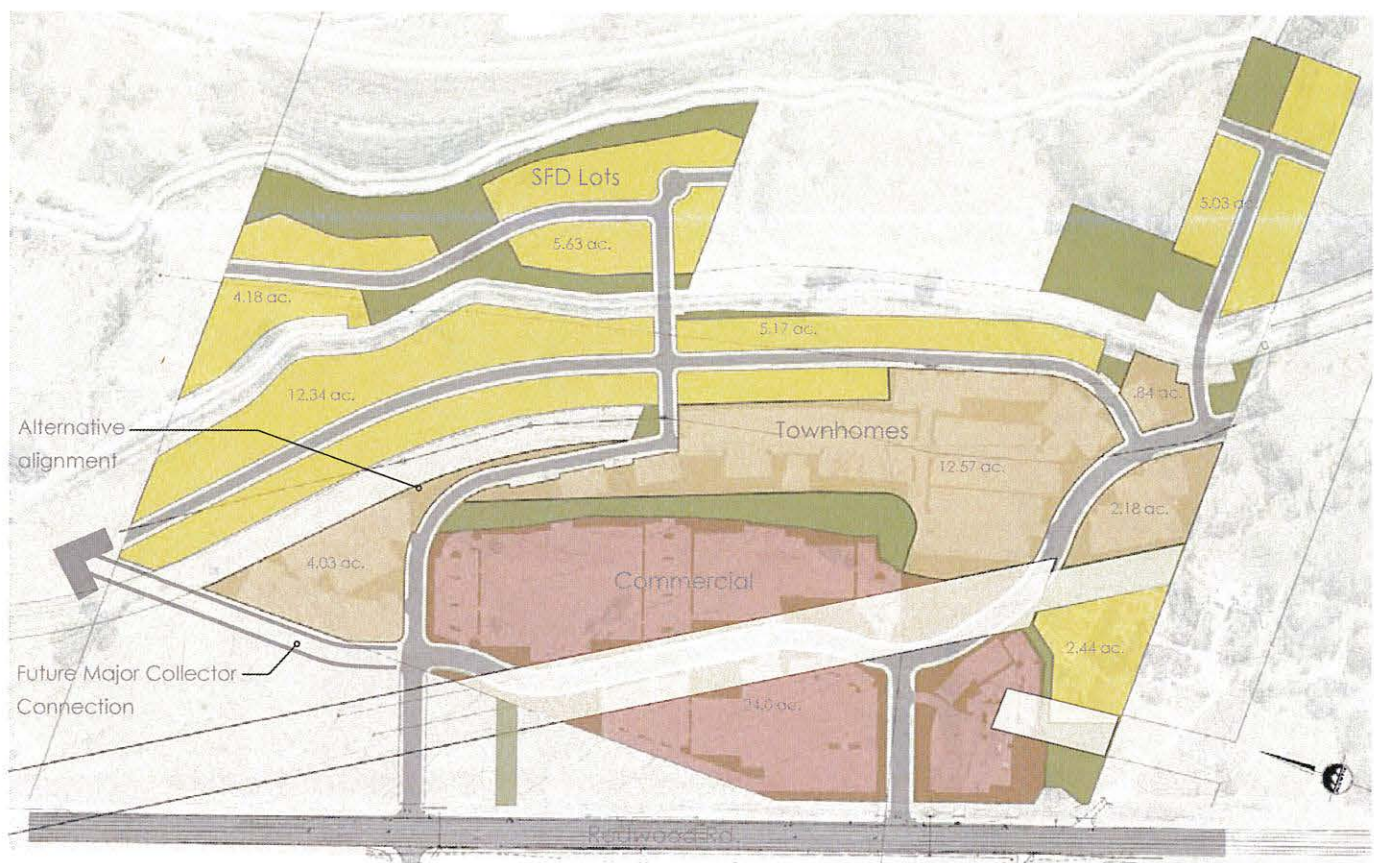
COMPLIANCE: The proposed development types within the mixed use area of the General Plan Map are consistent with the description and goals stated above. Bringhurst Station provides a balanced mix of residential and commercial uses including townhomes and single family dwellings that promote an active environment. SD Bringhurst Station provides provides shared public spaces with a high degree of pedestrian connectivity.

COMPLIANCE: SD Bringhurst Station includes an activity center adjacent to Redwood Road that may include retail, office, flex, and light industrial. The commercial center is scaled to serve local residents and provides strong pedestrian connectivity to near-by residences.

11-111-3: CONCEPTUAL SITE PLAN

- A. Conceptual Site Plan: The SD-Bringhurst Station Project Plan consists of 24.0 acres of commercial, 54.42 acres of residential, and approximately 30.0 acres of open space (total open space includes amenities within the residential and commercial parcels).

FIGURE 5: Conceptual Site Plan



- B. SD- Commercial: The commercial areas of the SD-Bringhurst Station consist of 24.0 acres. It is anticipated that up to 300,00 square feet of commercial buildings can be accommodated within Bringhurst Station, depending upon use and market demand. Potential commercial uses may include retail, auto dealerships, office, flex/incubator space, light industrial, and warehousing. Commercial uses will have direct pedestrian connections to community and regional trail networks, as well as good automobile access and visibility along Redwood Road.

BRINGHURST STATION SPECIAL DEVELOPMENT - MIXED USE

Bluffdale, Utah

- C. SD- Residential Amenities: The residential portions of Bringhurst Station will include HOA owned and maintained swimming pool and amenities, and park and trail amenities accessible to the public. The Pool and clubhouse will fill the need for larger gatherings than might be accommodated by the homes in the community.
- D. SD- Parks, Open Space, and Trails Plan: Within a mixed use community such as Bringhurst Station, active open space needs to be provided to benefit the overall community, provide connectivity to existing trail systems, and in the residential areas, to compensate for the smaller, private rear yard areas. Each lot contains sufficient private rear yard open space for small family gatherings, outdoor entertaining and small children play areas. Active park and trail areas will provide the opportunity for larger, family and neighborhood gatherings, picnicking and informal play areas for sports and similar recreation.

Bringhurst Station's active open space includes a 30.0 acres in private trails and parks. The trails will connect with the county and or city owned and maintained trails adjacent to and within the project area.

Bringhurst Station proposes privately owned and maintained HOA parks and trails of approximately 30.0 acres. It is anticipated that the parks and trails will be an informal play area that includes turf, trees and an automatic irrigation system supplied by a secondary water system. As a privately owned and maintained park, the developer will not request reimbursement for the value of the park land and the improvements. The private park and trail shall be installed per adopted city standards prior to the city council's acceptance of the subdivision phase in which those improvements are included.

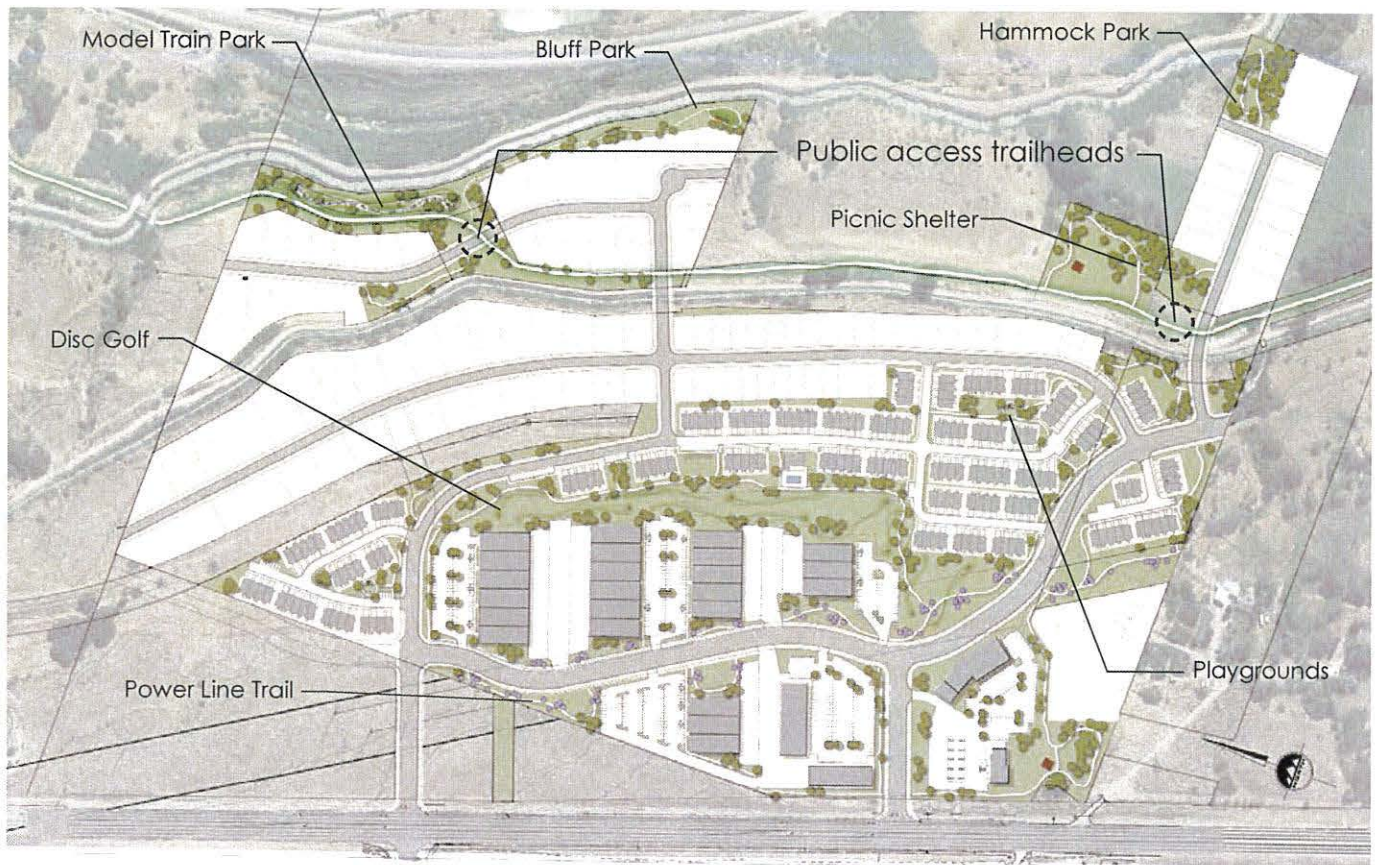


FIGURE 6: Open Space Plan

3.29 acres of the site is owned by the Utah and Salt Lake and the Canal who will maintain the canal and its immediate surroundings. The developer shall build an BSARC approved thematic fence along the rear lot line of the lots adjacent to the canal prior to the city council's acceptance of the subdivision phase in which the fencing is located.

The total active and passive parks, trails and open space areas are approximately 30.0 acres and will contain a variety of recreational amenities. The following is a collection of potential elements to be considered.

Trails



Power line Trail



Community Trail



Passive Seating Areas



Bluff Park

Vista/Obseration Platforms



Disc Golf

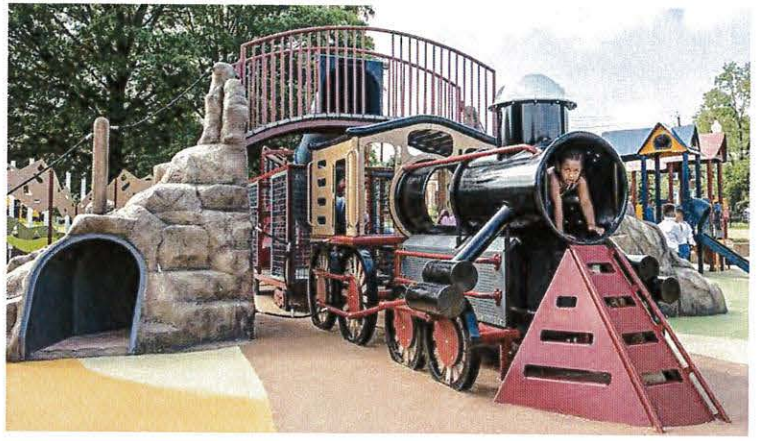


BRINGHURST STATION SPECIAL DEVELOPMENT - MIXED USE

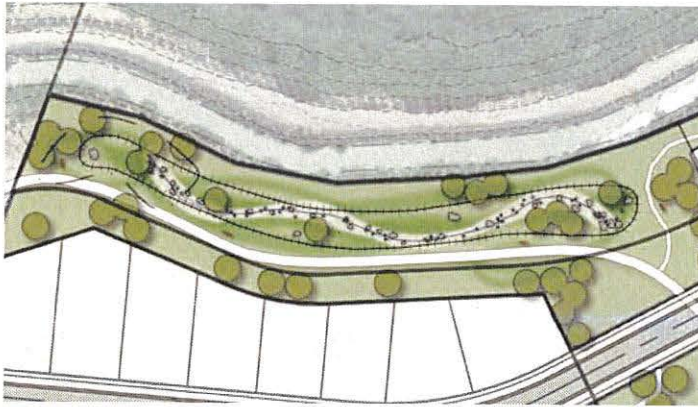
Bluffdale, Utah



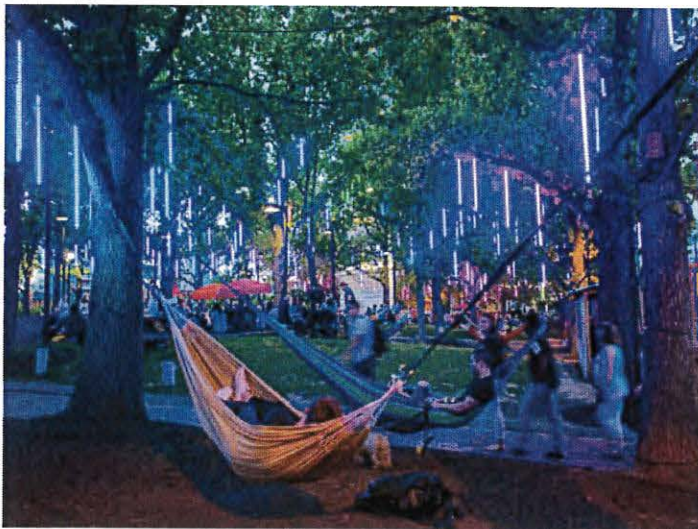
Pavilions and Shade Structures



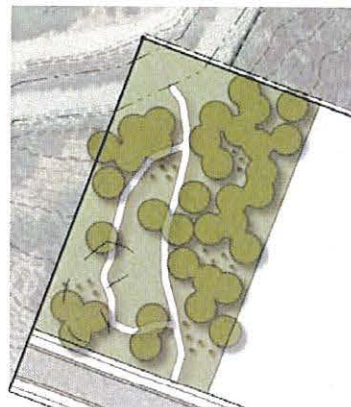
Tot Lots/Playground



Linear Trail Park



Hammock Park



Trailhead Connections



BRINGHURST STATION SPECIAL DEVELOPMENT - MIXED USE

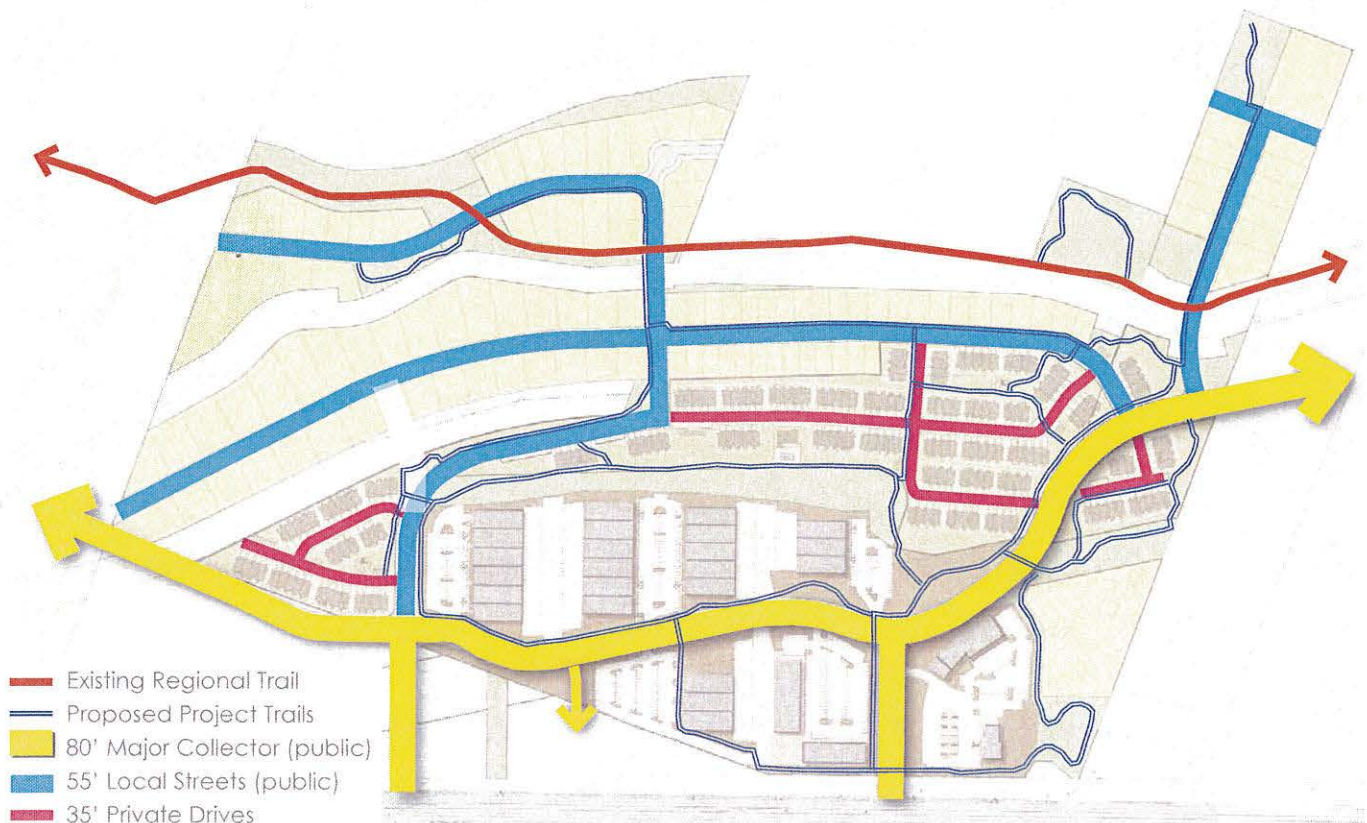
Bluffdale, Utah

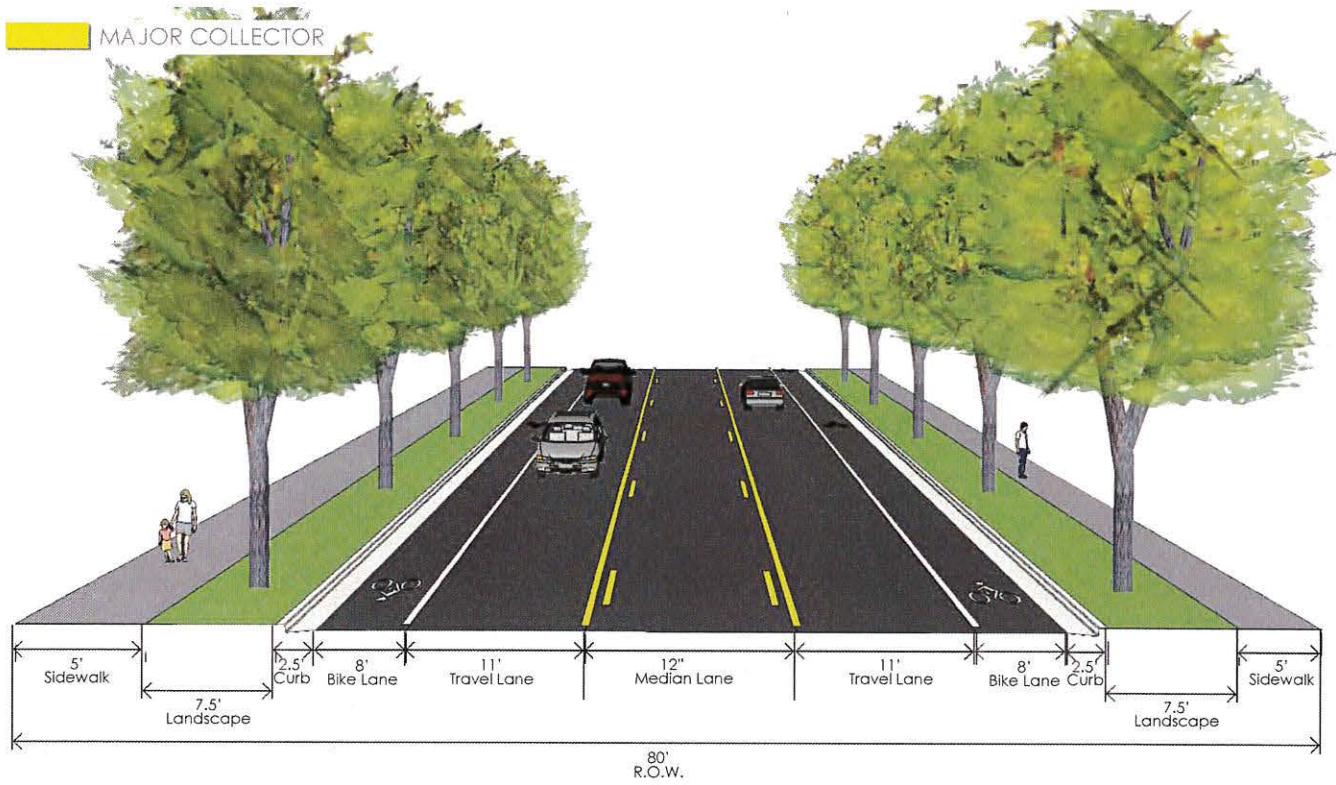


FIGURE 7: Bluffdale City Transportation Master Plan

SD Bringhurst Station implements the Bluffdale City Transportation Master Plan. The Master Plan identifies a major collector entering the property boundary from the south the turns westward and intersects with Redwood Road. A second major collector is proposed to intersect with the first and extend northward toward Porter Rockwell. The road structure proposed in Bringhurst Station closely resembles the City's Master Plan.

FIGURE 8: Transportation Master Plan Compliance

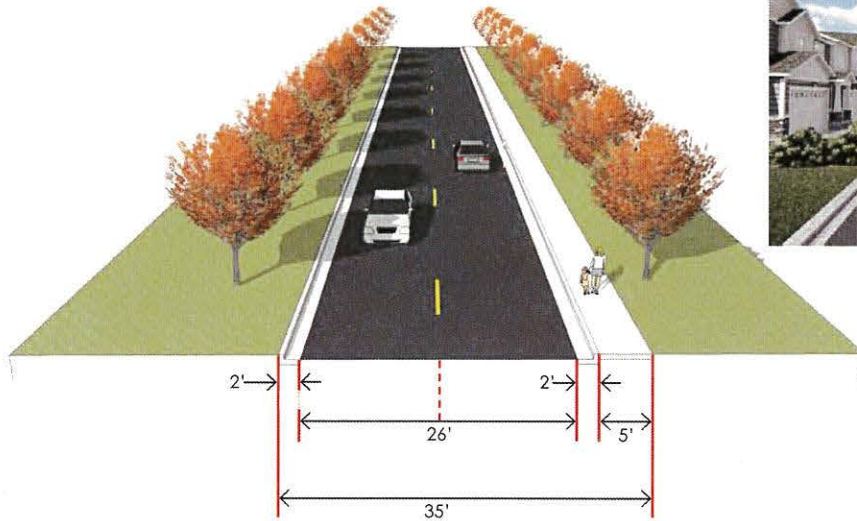




BRINGHURST STATION SPECIAL DEVELOPMENT - MIXED USE

Bluffdale, Utah

PRIVATE DRIVE



- E. Street Cross Sections: All local streets in Bringhurst Station are designed to be public streets constructed to the city's "standard residential A" street standard, generally described as a fifty five foot (55') right of way, twenty five feet (25') of asphalt, 2.5 foot concrete curb and gutters, a 7.5 foot landscaped park strip with street trees and a five foot (5') concrete sidewalk. (Ord. 2017-07, 3-22-2017)
- F. Street Tree Plan: All street trees to be installed before receiving certificate of occupancy for units on that street.



FIGURE 9: Street Tree Plan

- G. Parking: Residential and commercial parking shall comply with the requirement specified in the Bluffdale City Code.

The diagram below demonstrates the size and configuration of parking for the townhomes.

EXHIBIT 2: PARKING REQUIREMENTS

Residential

Single Family

2 parking spaces per dwelling unit enclosed in garage. 20 foot minimum driveway required.

Townhomes with a driveway

2 parking spaces per dwelling unit enclosed in garage. 20 foot minimum driveway required.
Guest parking: 1 guest space per 4 dwelling units.

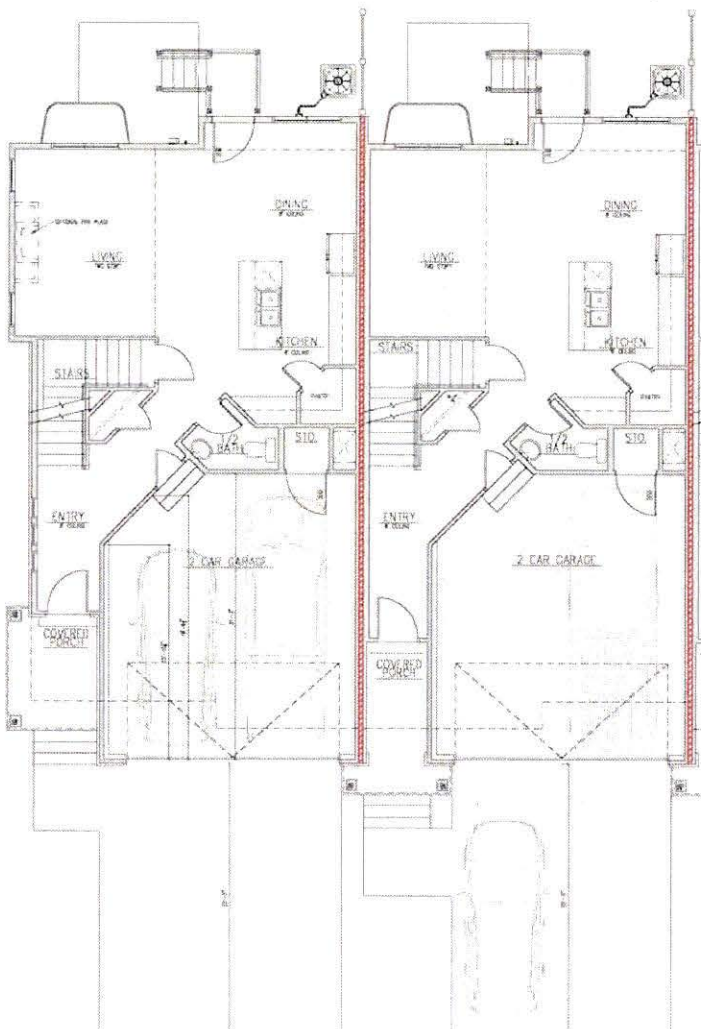
Commercial

Professional offices

1 parking space for every 200 square feet of floor space.

Retail

1 parking space for each 600 square feet of floor space.



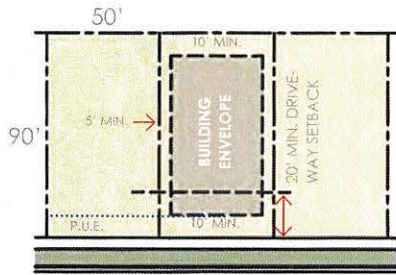
Bluffdale, Utah

EXHIBIT 3B - LOT CONFIGURATIONS

PLAN

FIRST LOT LAYER REGULATIONS

50' X 90' SFD (TYPICAL)



BRINGHURST STATION SPECIAL DEVELOPMENT - MIXED USE

Bluffdale, Utah

ARCHITECTURAL EXAMPLES FOR RESIDENTIAL AND COMMERCIAL DEVELOPMENT

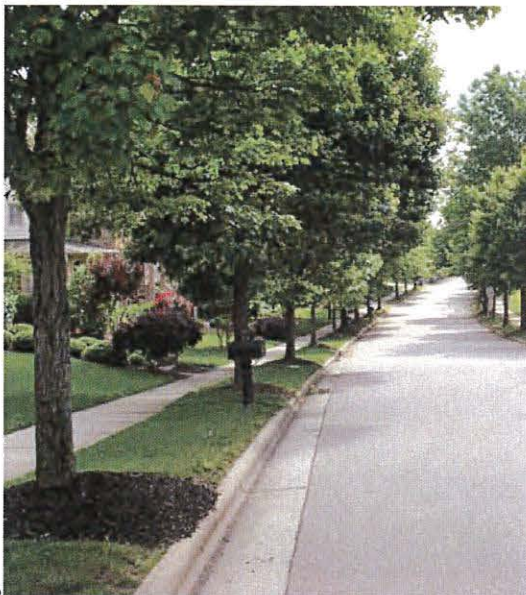
Typical architectural features and styles for residential buildings



The images on this page are conceptual in nature and subject to change.



Typical streetscapes



The images on this page are conceptual in nature and subject to change.

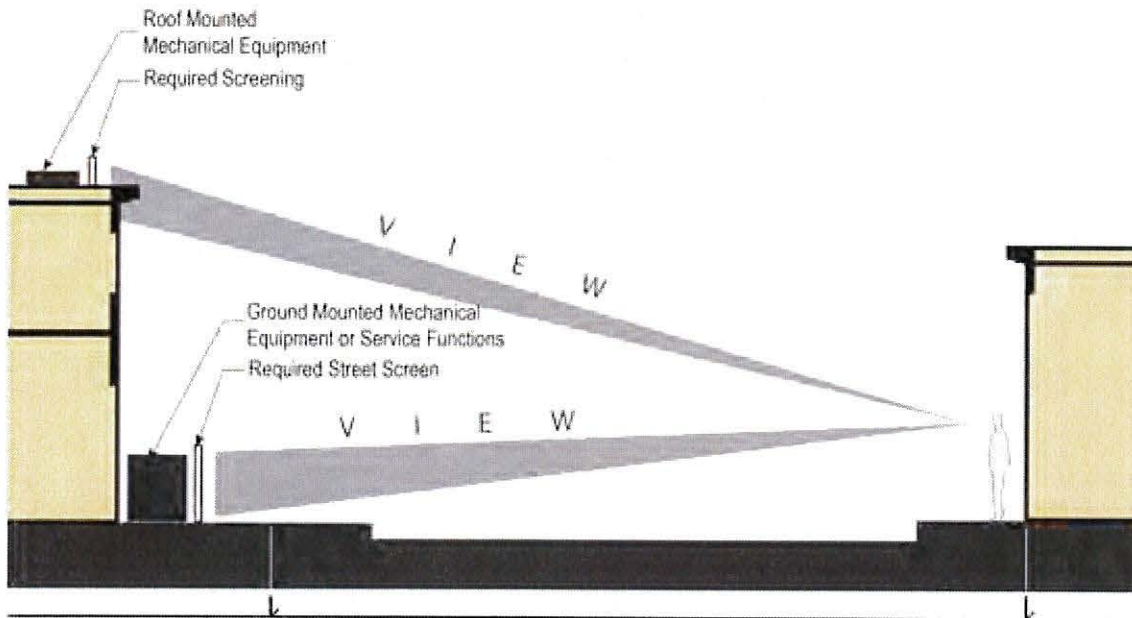
BRINGHURST STATION SPECIAL DEVELOPMENT - MIXED USE

Bluffdale, Utah

Typical architectural features for commercial buildings



The images on this page are conceptual in nature and subject to change.



BRINGHURST STATION SPECIAL DEVELOPMENT - MIXED USE

Bluffdale, Utah

APPENDICES